

LOCATION MAP

54 NEW BEACH ROAD, DARLING POINT, NSW 2027

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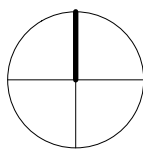
ADDITIONAL MATERIAL

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E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	UPDATED. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status	DEVELOPMENT APPLICATION
project	54 NEW BEACH ROAD, DARLING POINT, NSW 2027
client	CHARLIE & MOLLY REID

project no	0454
date	NOV 2022
scale	NTS
drawn by	KR
checked by	JR



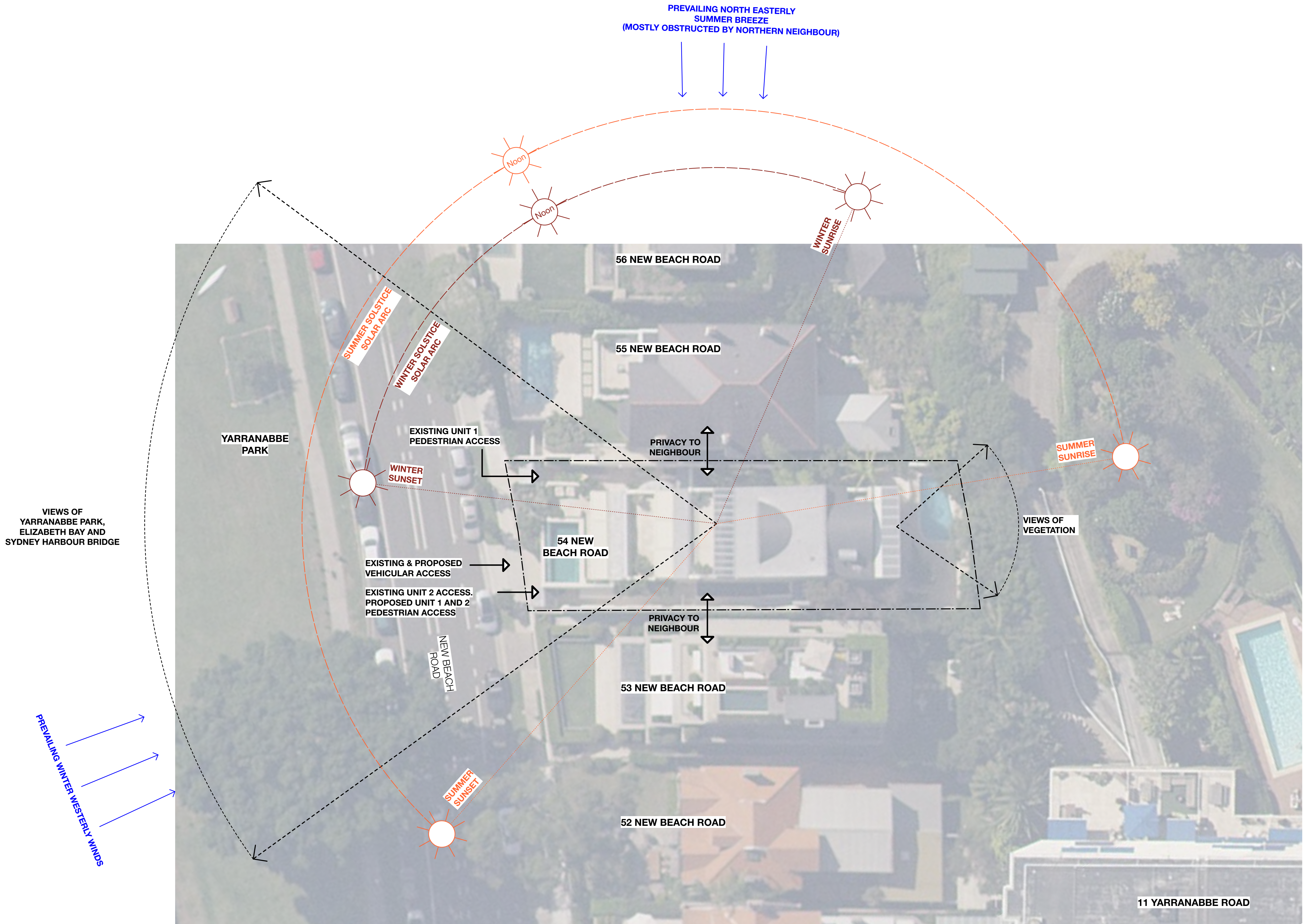
drawing no.	A0.01 E
drawing name	COVER PAGE & LOCATION MAP

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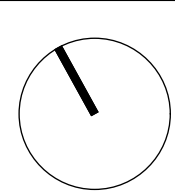




E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	07/05/2024	UNIT 1 PROPOSED PEDESTRIAN ENTRY NOTE UPDATED
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scale	1:200 @ A1
drawn by	KR
checked by	JR



drawing no.	A0.02 E
drawing name	SITE ANALYSIS

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27 Renny Street Paddington NSW Australia 2021

**5.6**  
Average  
star rating  
NATIONWIDE  
HOUSE  
www.nuthouse.com.au

0009455350 15 May 2024  
Assessor Raymond Sleiman  
Accreditation No. DMN/12/1472  
Address 54 New Beach Road,  
Darling Point, NSW,  
2027  
www.hstar.com.au



**BASIX COMMITMENTS**

**WATER**

**Landscape**  
Plant indigenous or low water use species of vegetation for:  
12.5 m2 of the common landscape area.  
45.7 m2 of Unit A landscape area.  
59.8 m2 of Unit B landscape area.

**Swimming Pool**  
Swimming pools must not have a volume greater than:  
Unit A - 6.6 m3  
Unit B - 38.0 m3  
The swimming pools must be outdoors.  
Pool to be heated by electric heat pump. Heat pump controlled by timer.

**Rainwater tank**  
Install a rainwater tank of at least 6000L on the site. To collect run-off from at least: 114.8 m2 of roof area;  
0 m2 of impervious area; 0 m2 of garden; 0 m2 of planter box (excluding, in each case, any area which drains to or supplies any other alternative water supply system).  
Provide irrigation of 46.6 m2 common landscaped area and zero car washing bays.

**Fixtures**  
Showerheads: min. rating 4 stars (flow rate >6 and <= 7.5 litres/min).  
Toilet flushing systems: min. rating 3 stars.  
Kitchen taps: min. rating 3 stars.  
Bathroom taps: min. rating 3 stars.  
Clothes washers: min. rating 3.5 stars.  
Dishwashers: min. rating 4 stars.

**ENERGY**

**Hot water**  
Install the following hot water system in the development: electric hear pump - air sourced, with minimum performance of 21 to 25 STCs.

**Natural lighting**  
Install a window and/or skylight in the kitchen of the dwellings.  
Install a window and/or skylight in 2 bathrooms of Unit A.  
Install a window and/or skylight in 6 bathrooms of Unit B.

**THERMAL COMFORT**  
Install insulation with minimum R-value 1.0 around the vertical edges of the perimeter of the slab; or on a suspended floor install unsulation with a minimum R-value of 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

**Alternative energy**  
Install a photovoltaic system with the capacity to generate minimum 5.9 peak kW.

**External walls**  
Basement: 250mm concrete with cavity and 90mm blockwork, with R1.0 insulation.  
Ground subterranean: 200mm concrete with cavity and 90mm blockwork, with R1.0 insulation.  
Ground and upper levels: 150mm concrete with cavity and 90mm blockwork, with R1.0 insulation.

**Internal walls**  
As outlined in 'Thermal Performance Specifications' below.

**Glazing doors/windows/skylights**  
As outlined in 'Thermal Performance Specifications' below.

**External colour:**  
As outlined in 'Thermal Performance Specifications' below.

**Ceiling penetrations**  
Sealed LED downlights, as per plans.  
Sealed externally ducted exhaust fans.  
Penetrations not to exceed NatHERS certificate

**Floor coverings**  
Concrete topping slab throughout.

**Fixtures**  
Dishwashers: min. rating 3 stars.  
Clothes washers: min. rating 4 stars.  
Clothes dryers: min. rating 7 stars.  
Gas cooktop & electric oven.

**Cooling system**  
3-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

**Heating system**  
3-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

**Ventilation**  
Bathrooms – individual fan, externally ducted to roof or façade, interlocked to light.  
Kitchen – individual fan, externally ducted to roof or façade, manually switched on/off.  
Laundry – individual fan, externally ducted to roof or façade, interlocked to light.

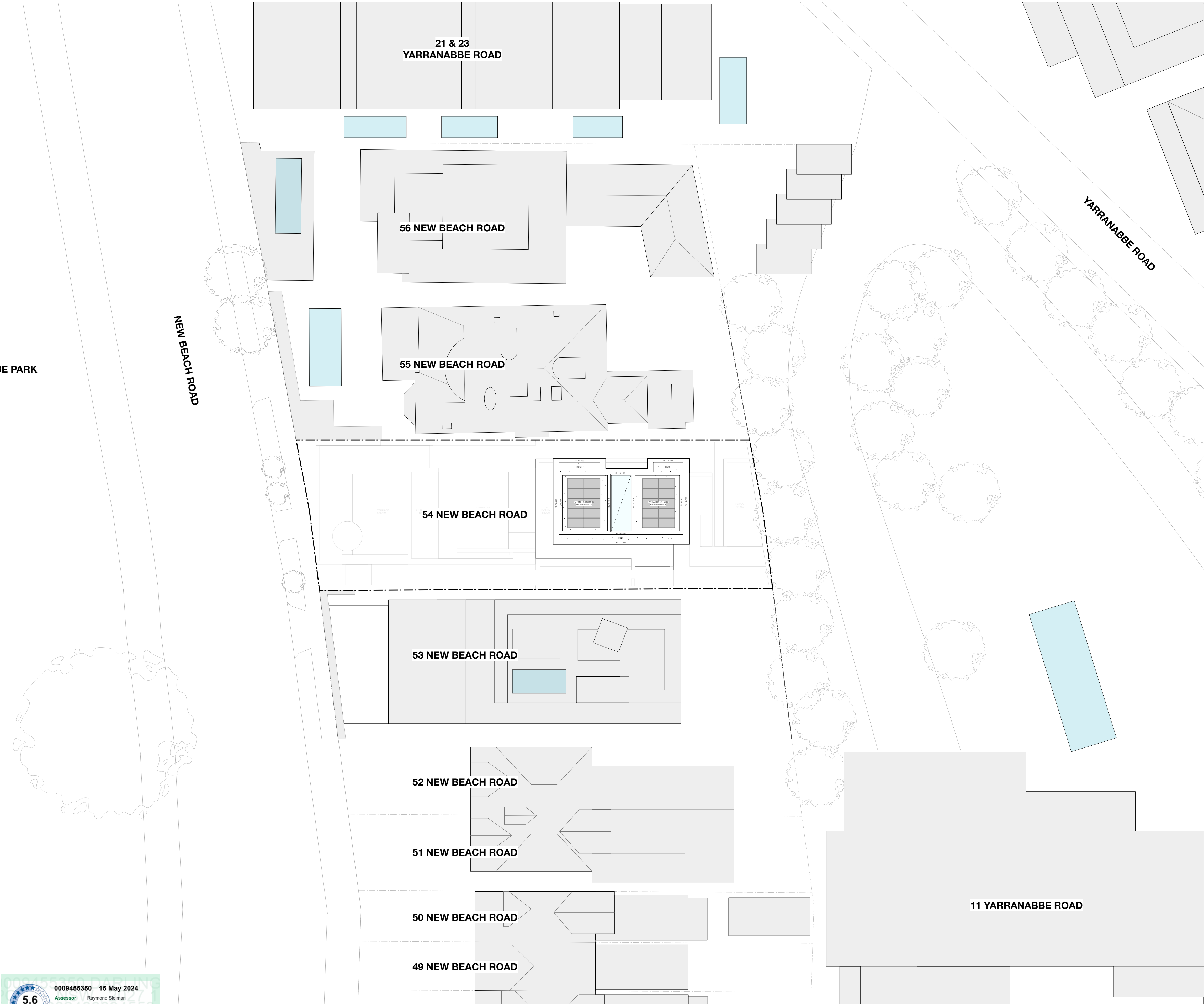
**Common Area Ventilation**  
Garage: no mechanical ventilation.  
Garbage room: exhaust only.

**Common Area Lighting**  
Garage: LED operated by daylight and motion sensors.  
Garbage room: LED operated by motion sensors.

**Window Shading Provision**  
- The following windows are to have full height external retractable fabric blinds / external venetian blinds capable of shading the whole window area:  
WG.14, W1.16, W2.21, W2.22, W2.25, W2.32, W4.11  
- The following windows are to have external retractable fabric awnings providing a minimum overhang / shading depth of 2 metres:  
W1.11, W3.21

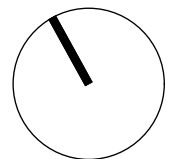
Thermal Performance Specifications							
These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents							
Windows	Product ID	Glass	Frame	U value	SHGC	Area M²	Detail
Unit A		Single Low-E	Aluminium	4.8	0.51		Awning
		Single Low-E	Aluminium	4.8	0.59		Sliding, Fixed
Unit B		Double Low-E	Aluminium	3.6	0.47		Awning
		Double Low-E	Aluminium	3.6	0.54		Sliding, Fixed
Skylights	Product ID	Glass	Frame	U value	SHGC	Area M²	Detail
		Double Low-E	Aluminium	2.7	0.24		As per plans
Window and skylight U and SHGC values, if specified, are according to AFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.							
External walls	Construction	Insulation	Colour – solar abs.	Detail			
Concrete (150mm) Brick Cavity	25mm Kooltherm	Light – SA < 0.475		As per plans (R1.0 XPS insulation)			
Concrete (200mm) Brick Cavity	25mm Kooltherm	Light – SA < 0.475		As per plans (R1.0 XPS insulation)			
Concrete (250mm) Brick Cavity	25mm Kooltherm	Light – SA < 0.475		As per plans (R1.0 XPS insulation)			
Internal walls	Construction	Insulation	Detail				
Concrete (150mm) Brick Cavity	25mm Kooltherm		Carpark / Garbage Room to Unit A				
Brick (90mm)		None	As per plans				
Block (110mm)		None	As per plans				
Block (140mm)		None	As per plans				
Concrete (200mm)		None	As per plans				
Floors	Construction	Insulation	Covering	Detail			
Concrete		None	None	Throughout			
Concrete		R1.0 XPS	None	Carpark / Outdoor Air Below			
Ceilings	Construction	Insulation	Detail				
Plasterboard		R2.0 XPS	Concrete Roof / Balcony Above				
Roof	Construction	Insulation	Colour – solar abs.	Detail			
Concrete (Roof)		R1.5 XPS	Light – SA < 0.475	As per plans			
Concrete (Balcony / Planters)		R1.5 XPS	Medium – SA 0.475–0.7	As per plans			
Overshadowing	Overshadowing structures			Overshadowing trees			
55 Beach Road							
Orientation, Exposure, Ventilation and Infiltration							
Orientation of nominal north:		25					
Terrain category:		Suburban					
Lighting plan provided:		Yes					
Recessed downlights:		Yes (Sealed LED)					
Ceiling exhaust fans		Yes (Defaults Modelled)					

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A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
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LEGEND:	
	EXISTING HOUSE FOOTPRINT TO BE DEMOLISHED

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID



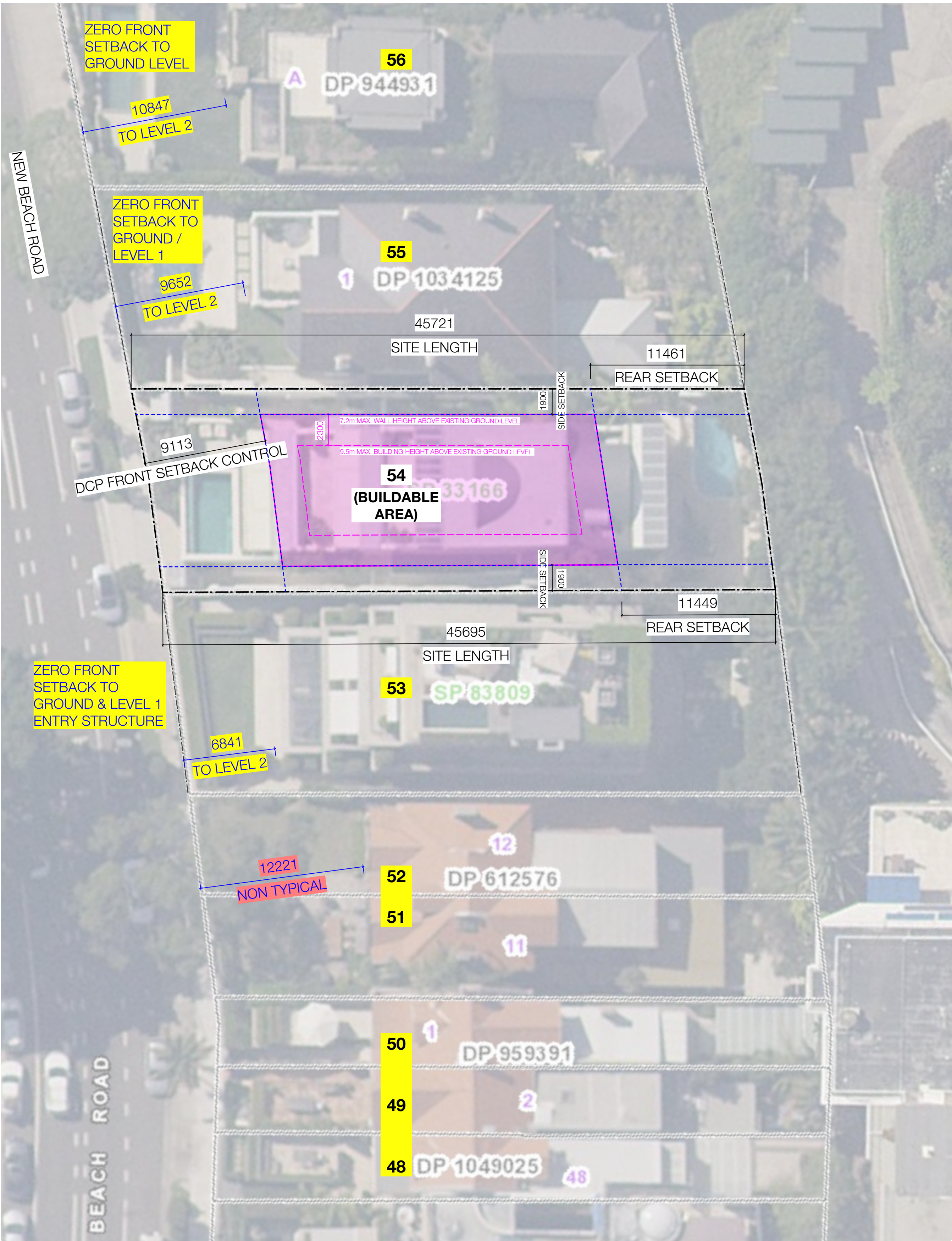
project no  
0454  
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NOV 2022  
scale  
1:200 @ A1  
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checked by  
JR

drawing no.  
**A0.03 E**  
drawing name  
**SITE PLAN & BASIX COMMITMENTS**

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COUNCIL CONTROLS

SITE AREA = 688.8 M<sup>2</sup>

FRONT SETBACK

DETERMINED BY AVERAGING THE THREE MOST TYPICAL SETBACKS OF THE FOUR CLOSEST RESIDENTIAL BUILDINGS THAT FACE THE SAME SIDE OF THE STREET. TYPICAL CLOSEST NEIGHBOURING BUILDINGS ARE NO. 56, NO.55 & NO.53 NEW BEACH ROAD.

FRONT SETBACK = ( 10.847 + 9.652 + 6.841 ) / 3 = 9.113 M

SIDE SETBACKS

DETERMINED BY TABLE IN FIGURE 5A.

FOR SITE WIDTH OF 15M < 17M

SIDE SETBACK = 1.9 M

SITE WIDTH AT FRONT SETBACK LINE APPROX. 15.3 M

SIDE SETBACK = 1.9 M

REAR SETBACK

REAR SETBACK = A - C - B

A = SITE DEPTH

B = FRONT SETBACK

C = BUILDING DEPTH ('A' x % FOR 'A' ON THE BUILDING DEPTH SLIDING SCALE IN FIGURE 7)

NORTHERN BOUNDARY: 45.721 (-) 9.113 (-) 25.147 = 11.461 M

SOUTHERN BOUNDARY: 45.695 (-) 9.113 (-) 25.132 = 11.449 M

MAXIMUM FLOORPLATE

THE BUILDABLE AREA IS THE AREA OF THE SITE THAT IS IDENTIFIED ONCE THE FRONT, REAR AND SIDE SETBACKS HAVE BEEN ESTABLISHED. THE MAXIMUM AMOUNT OF DEVELOPMENT PERMITTED ON THE SITE IS DETERMINED BY MULTIPLYING THE BUILDABLE AREA BY A FACTOR OF 1.65 (165%).

BUILDABLE AREA = 281 M<sup>2</sup>

SCALE FACTOR = 1.65

MAXIMUM FLOORPLATE (281 M<sup>2</sup> x 1.65) = 464 M<sup>2</sup>

WHERE CAR PARKING IS PROVIDED WITHIN THE BUILDING ENVELOPE, UP TO 40M<sup>2</sup> CAN BE ADDED TO THE PERMITTED TOTAL FLOORPLATE.

TOTAL MAXIMUM FLOORPLATE (464 M<sup>2</sup> + 40 M<sup>2</sup>) = 504 M<sup>2</sup>

MAX. WALL HEIGHT = 7.2 M (ABOVE EXISTING GROUND LEVEL)

MAX. BUILDING HEIGHT = 9.5 M

EXCAVATION

MAXIMUM VOLUME OF EXCAVATION = 190 M<sup>3</sup> (BASED ON SITE AREA & FIG 14A IN WOOLLAHRA DCP)

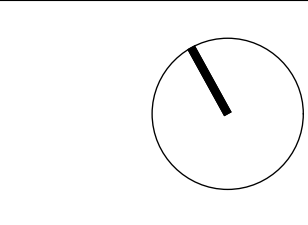
+ 20 M<sup>3</sup> STORAGE ALLOWANCE = 210 M<sup>3</sup>



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drawn no.	A0.04 E
drawing name	CONCIL CONTROLS - SITE SUMMARY

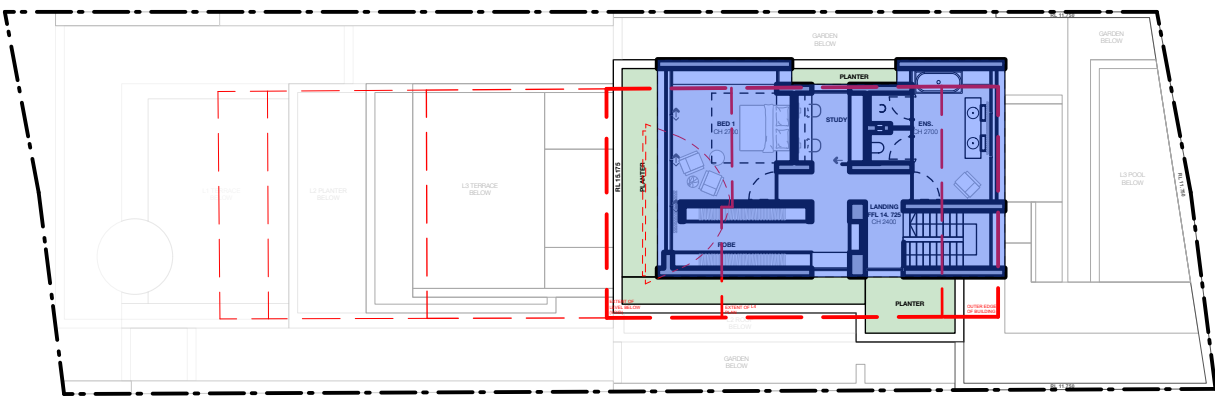
drawn no.	A0.04 E
drawing name	CONCIL CONTROLS - SITE SUMMARY

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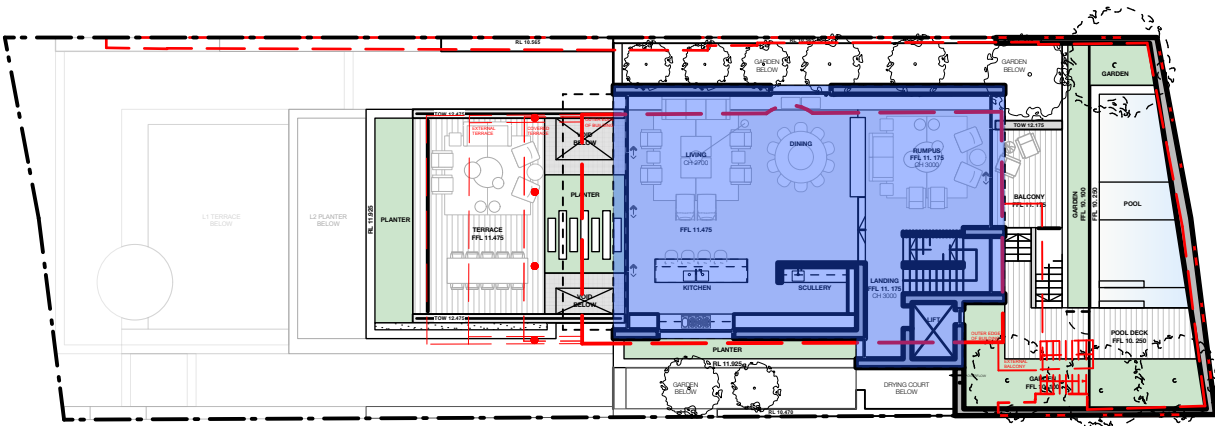


PROPOSED FLOORPLATE

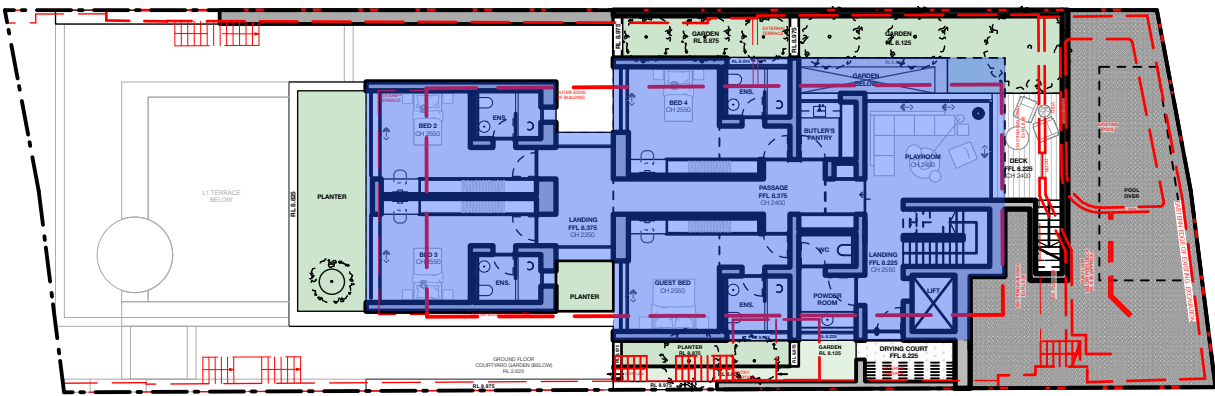
LEVEL 4



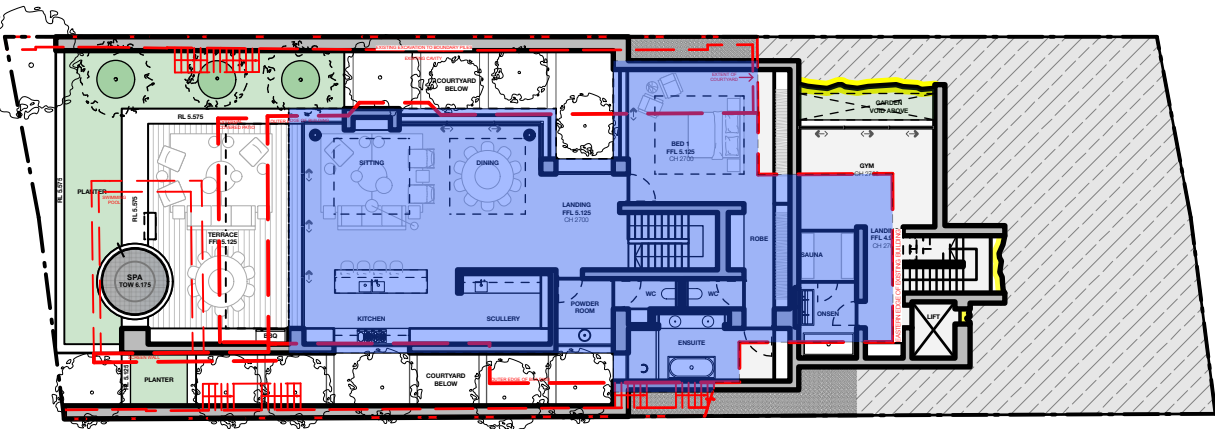
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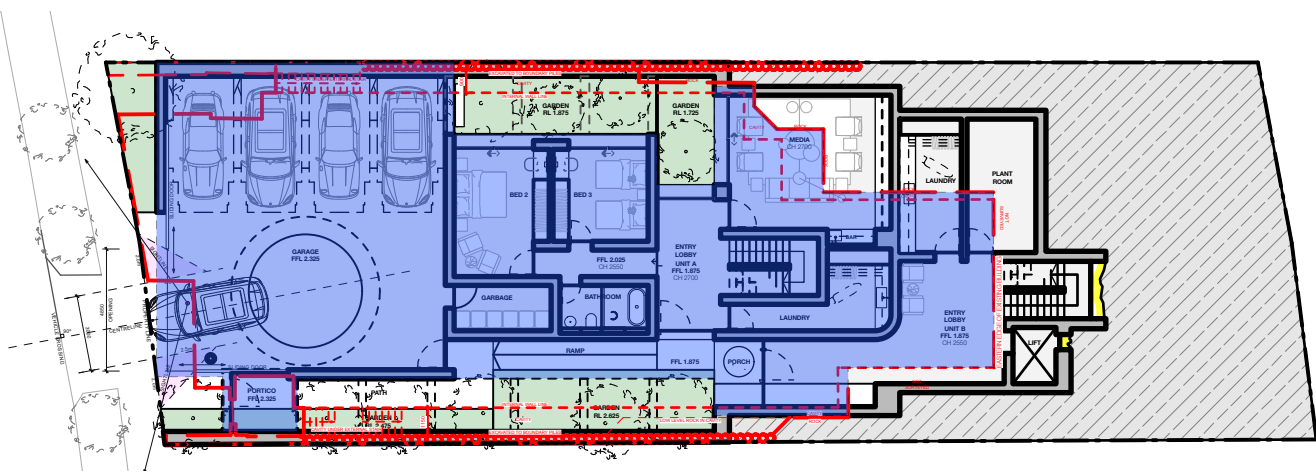
LEVEL 2



LEVEL 1

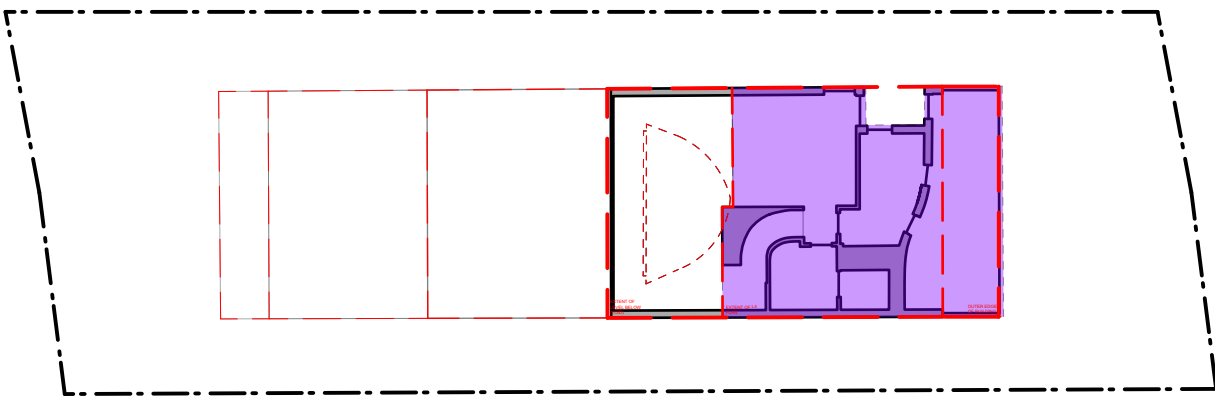


GROUND

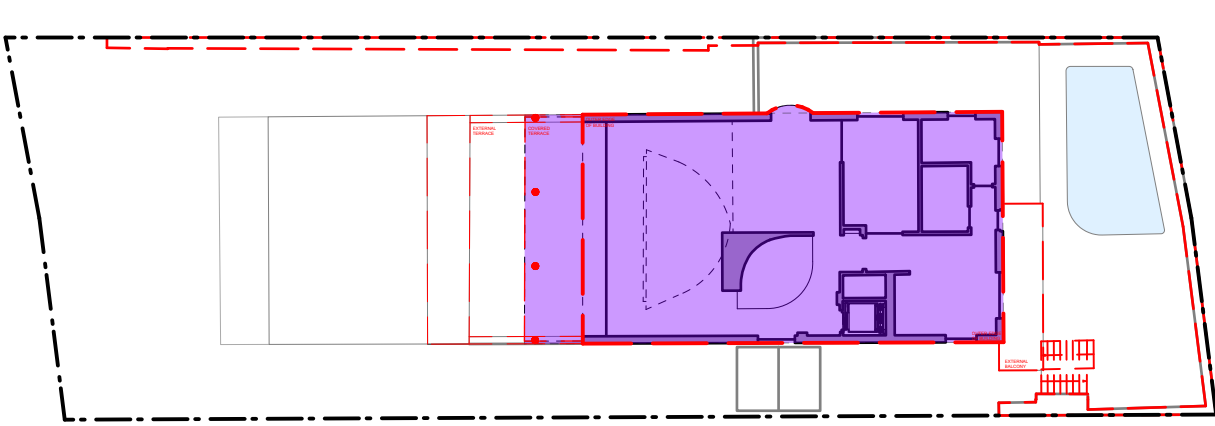


EXISTING FLOORPLATE

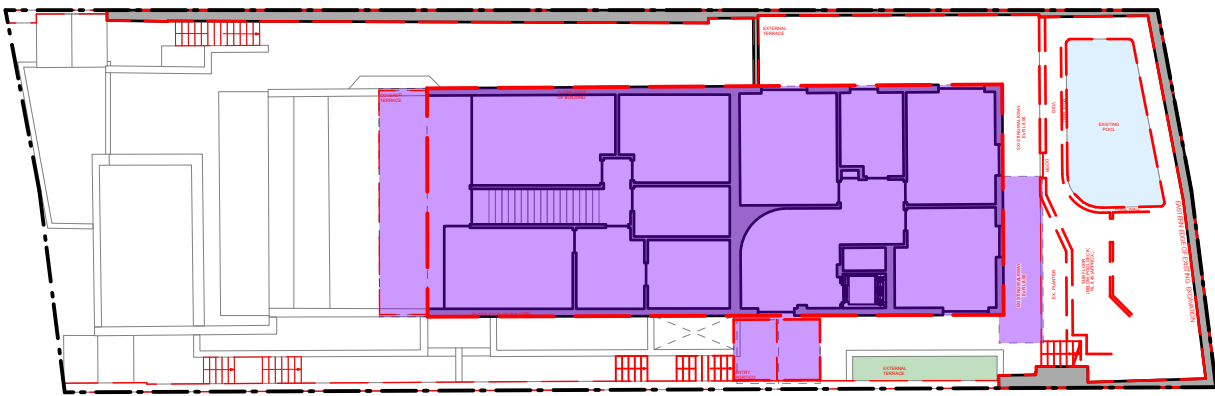
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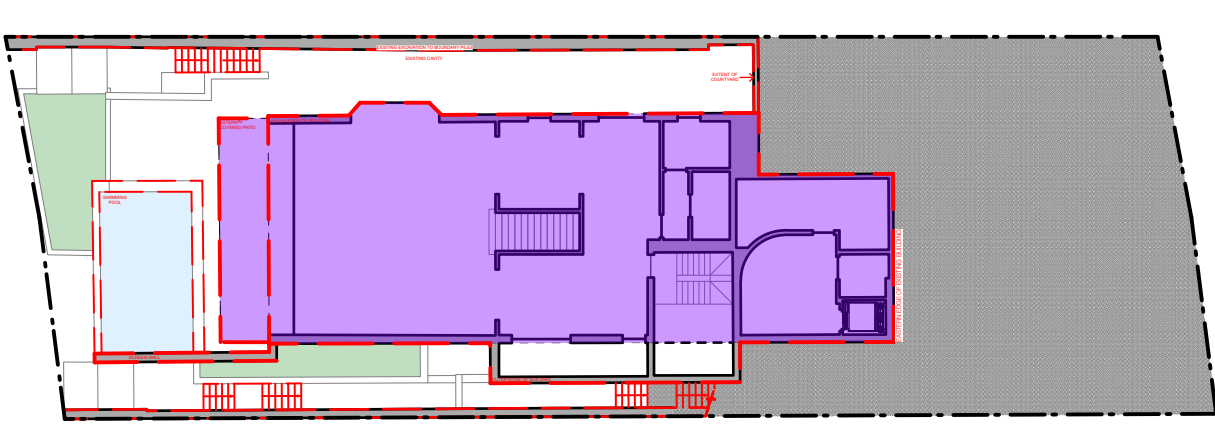
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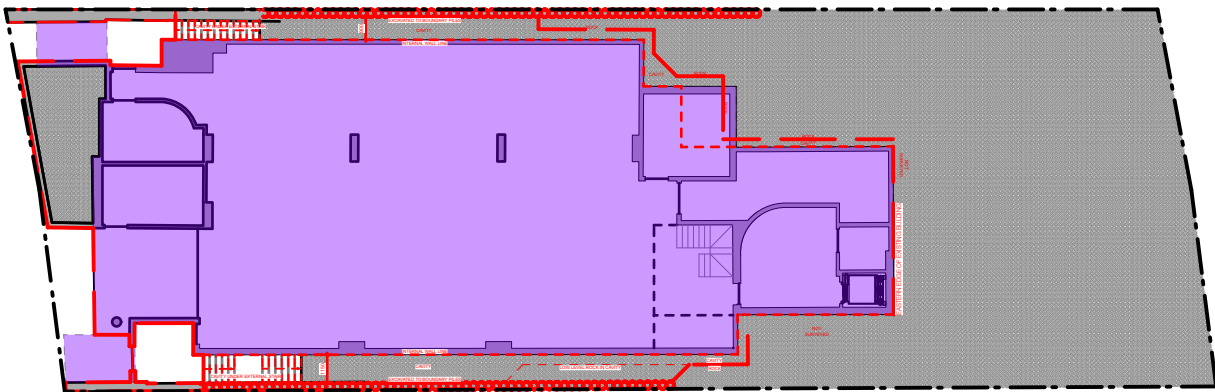
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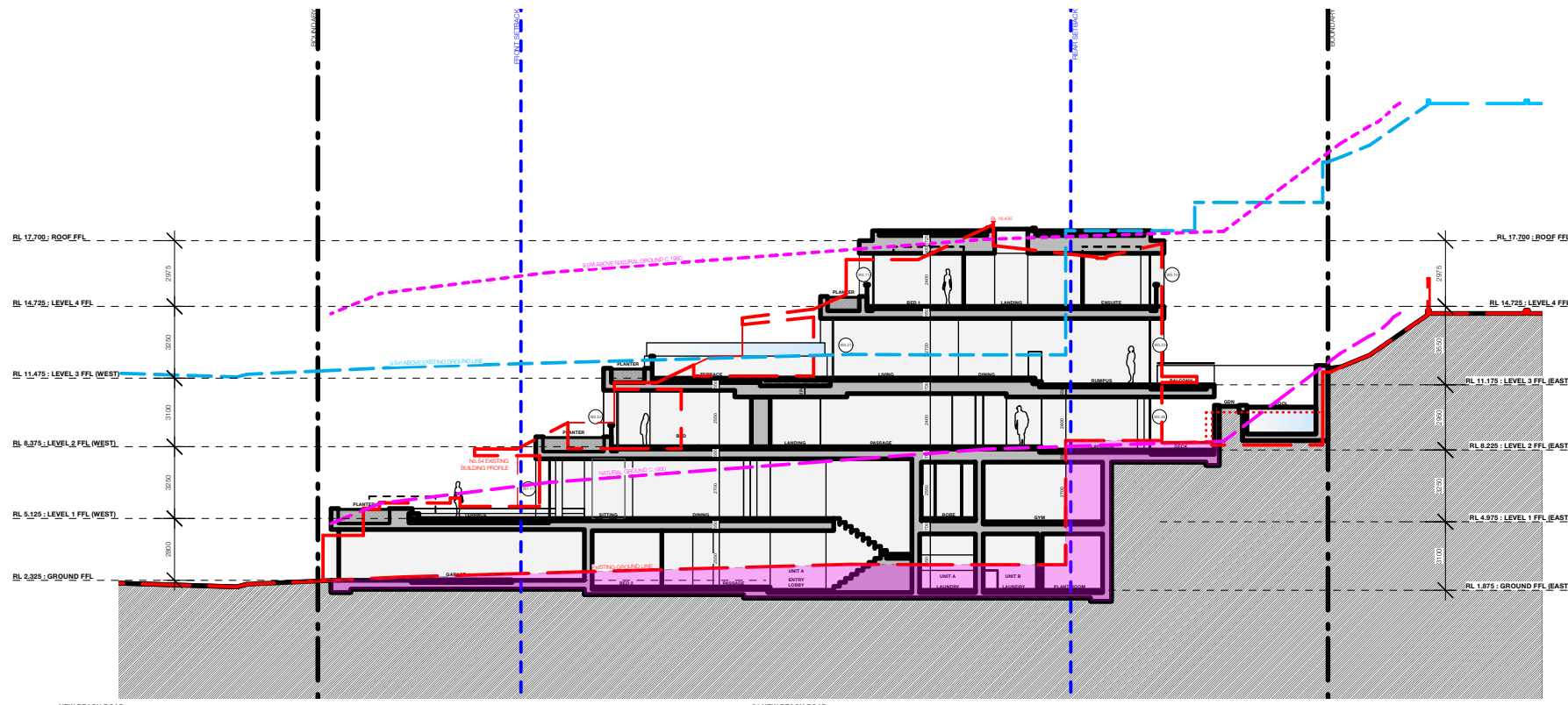
LEVEL 1



GROUND

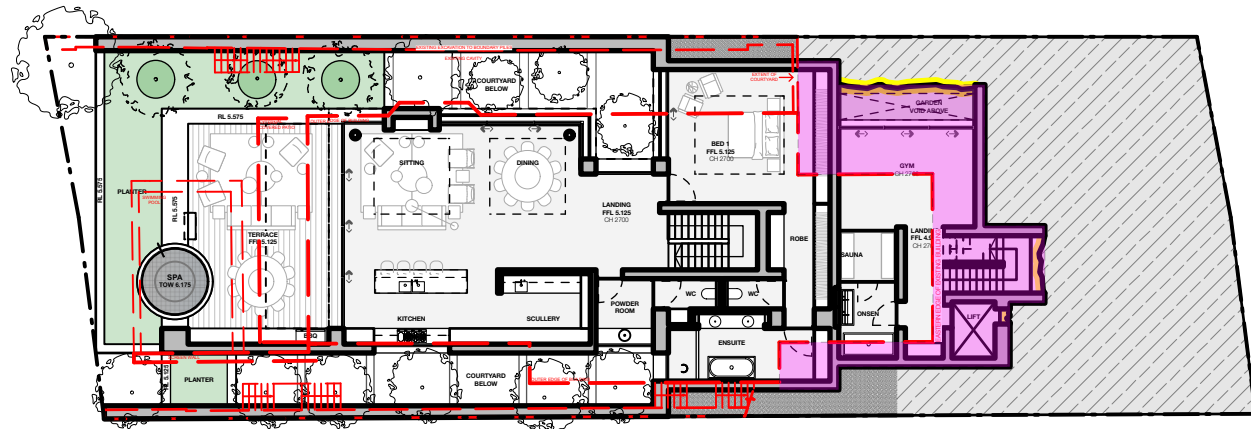


EXCAVATION

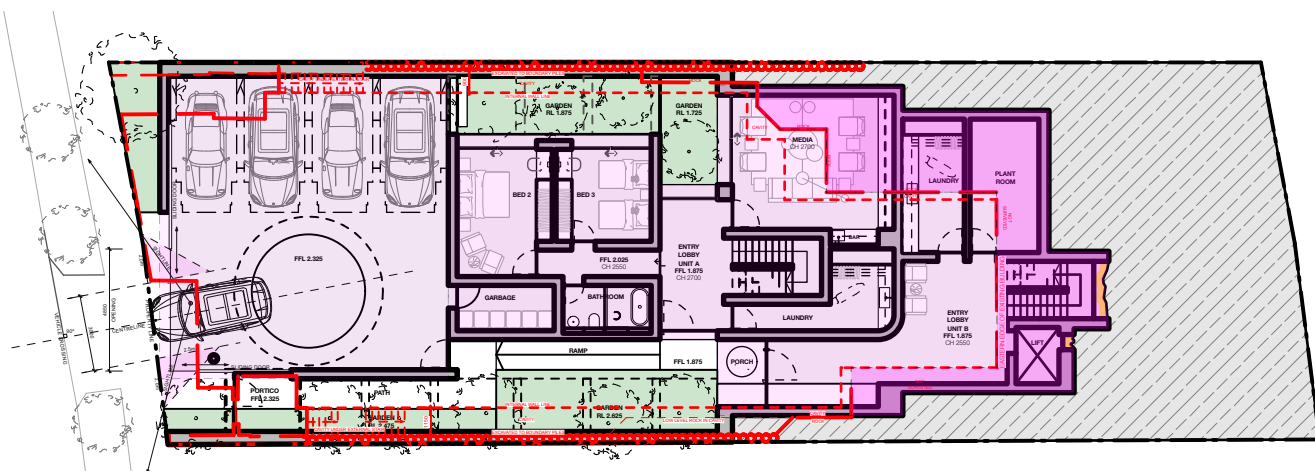


SECTION B

LEVEL 1



GROUND



ALLOWABLE EXCAVATION FOR SITE AREA OF 668.8 M<sup>2</sup> = 190 M<sup>3</sup>  
+ 20 M<sup>3</sup> STORAGE ALLOWANCE = 210 M<sup>3</sup>

54 NEW BEACH ROAD  
EXCAVATION SUMMARY TABLE

	PROPOSED DA SUBMISSION	PROPOSED SECTION 34AA	
FLOOR LEVEL	EXCAVATION	EXCAVATION	
LEVEL 1	317	227	(EAST OF SITE)
GROUND FLOOR	329	426	(216m3 EAST OF SITE + 210m3 FLOOR RLs)
BASEMENT	2242		
TOTAL EXCAVATION	2888 m3	653 m3	
DCP CONTROL	210 m3	210 m3	

54 NEW BEACH ROAD

SITE AREA	688.8 m2
DCP CONTROL FLOORPLATE	504 m2
DCP BUILDABLE AREA FACTOR	1.65 :1

FLOORPLATE SUMMARY TABLE

	PROPOSED DA SUBMISSION	PROPOSED SECTION 34AA	EXISTING
FLOOR LEVEL	FLOORPLATE	FLOORPLATE	FLOORPLATE
LEVEL 4	119.0	114.8	96.0
LEVEL 3	184.0	158.8	173.0
LEVEL 2	269.0	250.7	245.0
LEVEL 1	226.0	229.7	231.0
GROUND FLOOR	356.0	351.0	356.0
TOTAL FLOORPLATE	1154.0 m2	1105.0 m2	1101.0 m2
Area over DCP Control Floorplate	650.0 m2	601.0 m2	597.0 m2
% over DCP Control Floorplate	129 %	119 %	118 %



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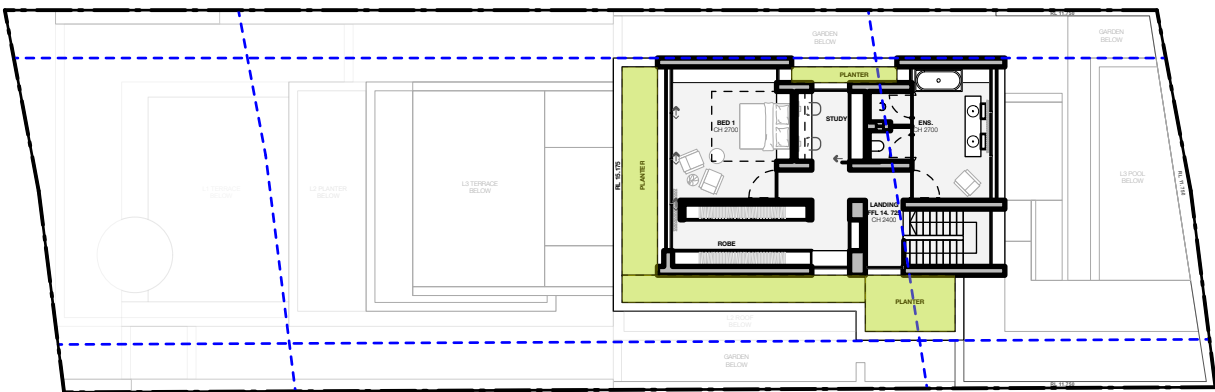
drawing no.  
A0.05 E  
drawing name  
COUNCIL CONTROLS - AREA  
CALCULATIONS

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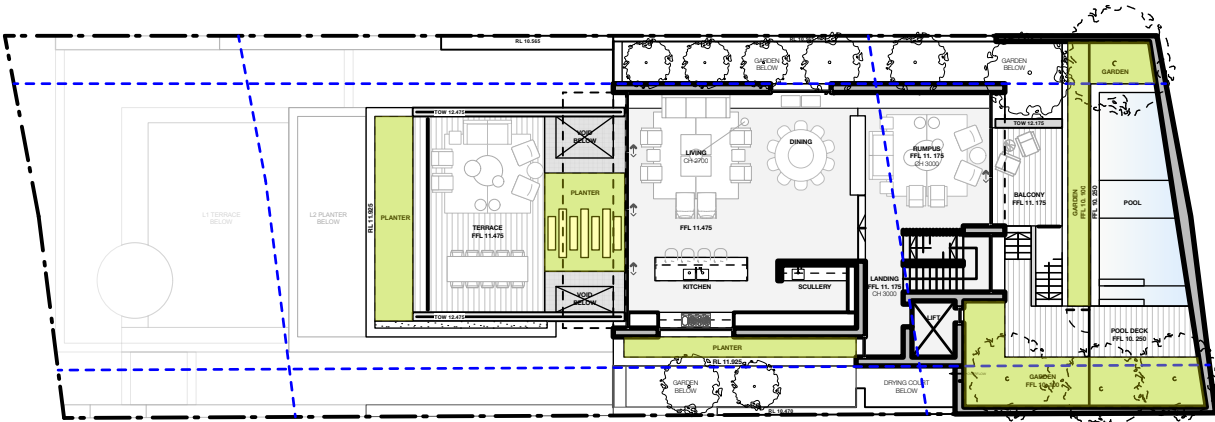


SOFT LANDSCAPING

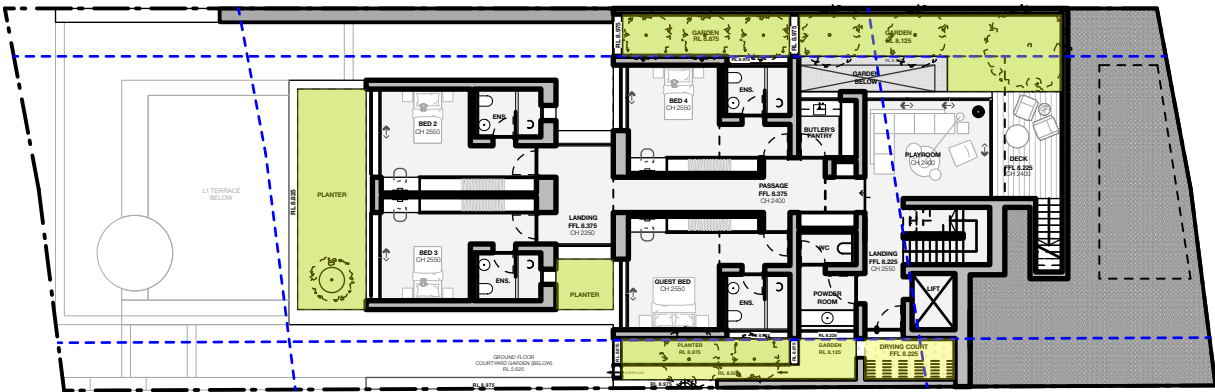
LEVEL 4



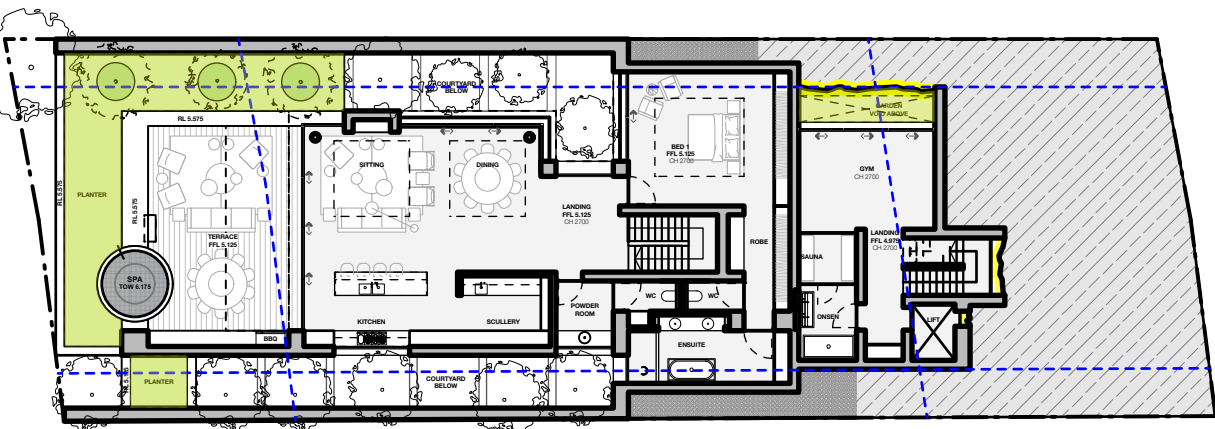
LEVEL 3



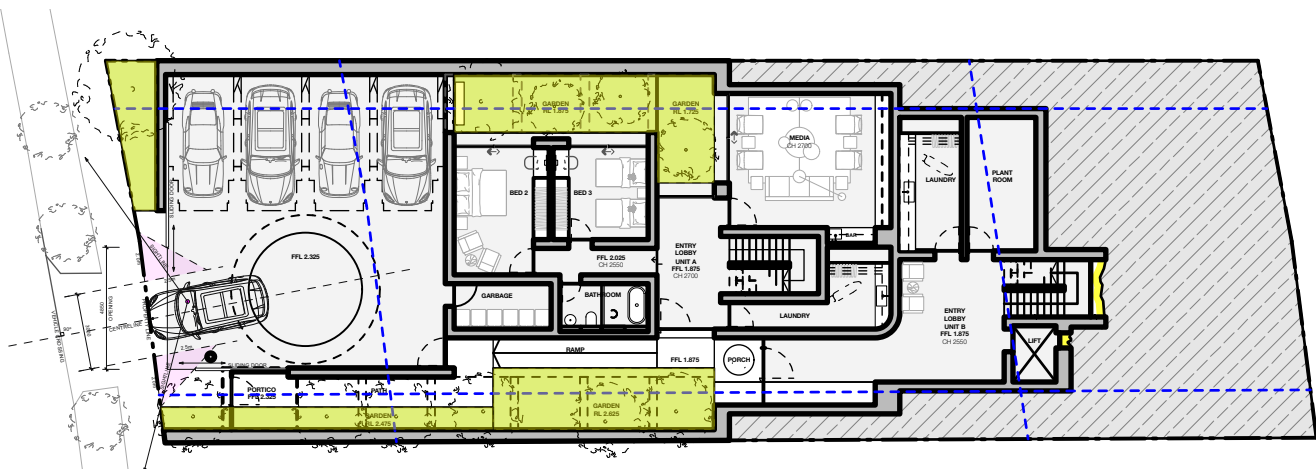
LEVEL 2



LEVEL 1



GROUND



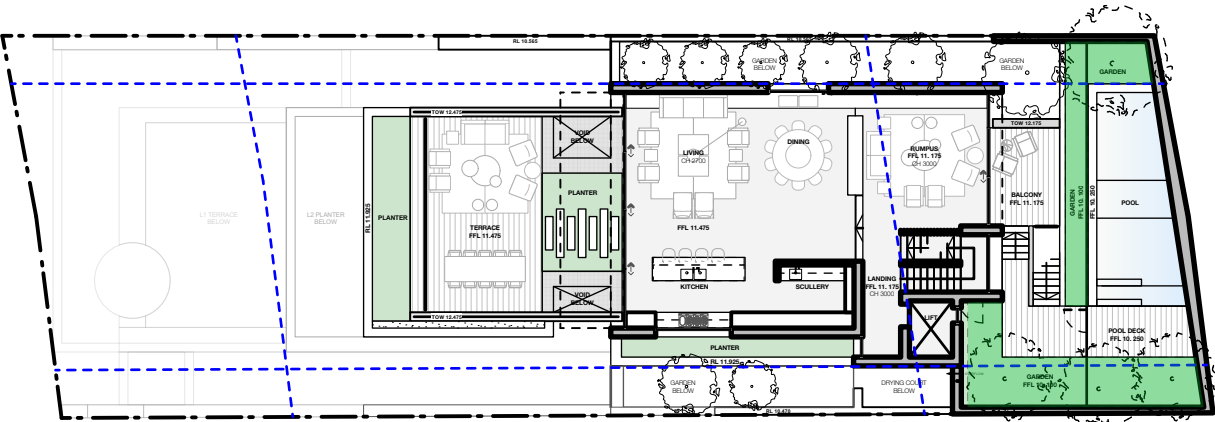
54 NEW BEACH ROAD

WHOLE SITE SOFT LANDSCAPE AREA SUMMARY TABLE

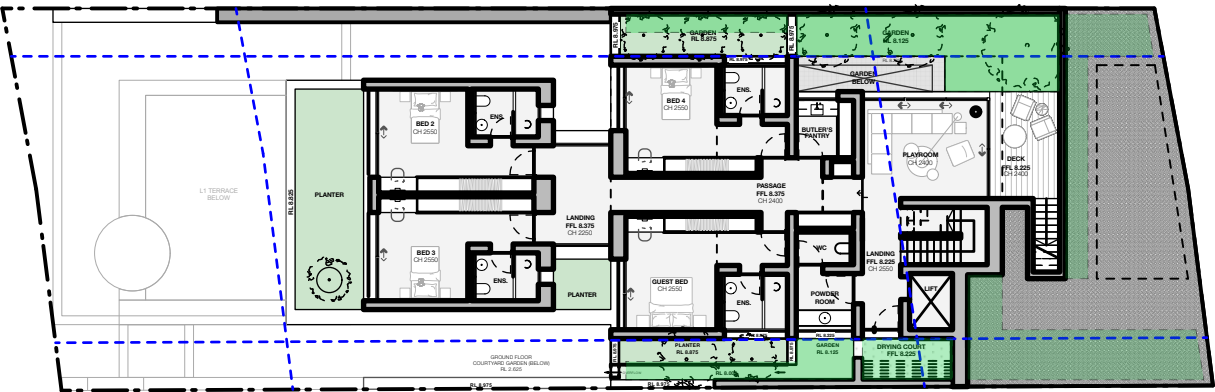
	PROPOSED DA SUBMISSION	PROPOSED SECTION 34AA	EXISTING
FLOOR LEVEL	LANDSCAPE AREA	LANDSCAPE AREA	LANDSCAPE AREA
LEVEL 4	31	32	0
LEVEL 3	40	68	3
LEVEL 2	51	84	6
LEVEL 1	40	56	25
GROUND FLOOR	26	70	0
TOTAL LANDSCAPE AREA	188 m2	310 m2	34 m2

DEEP SOIL LANDSCAPING

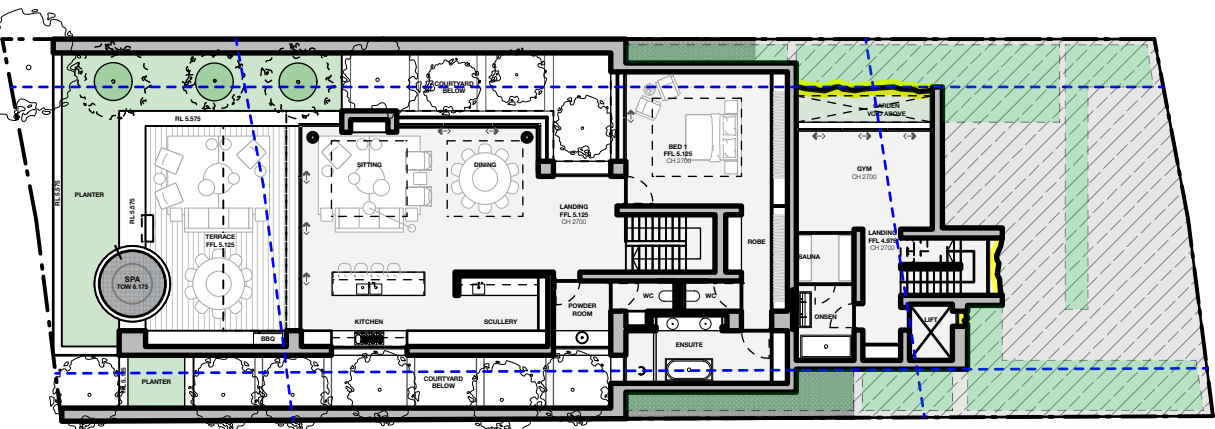
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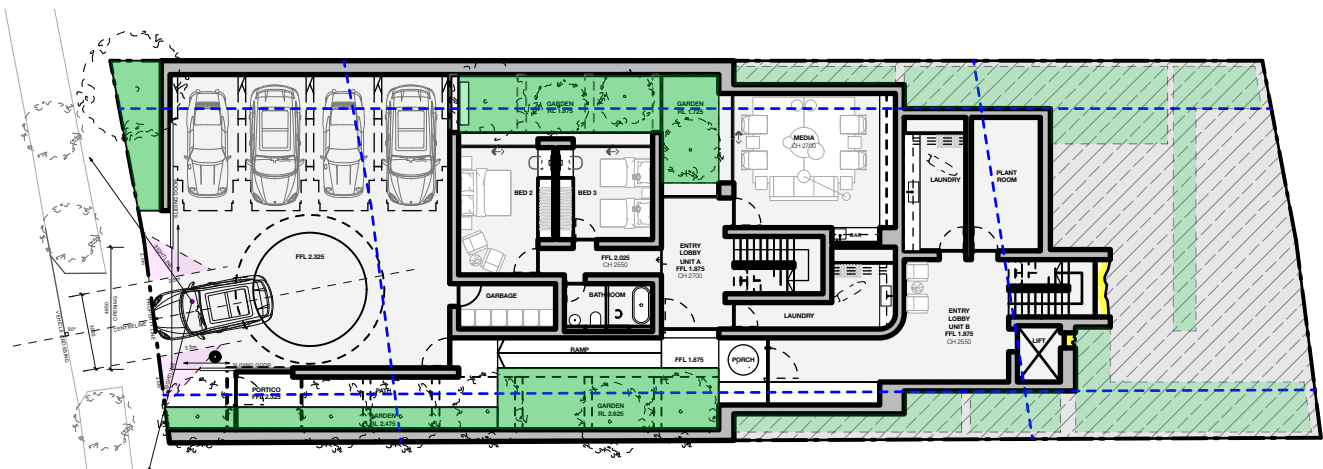
LEVEL 2



LEVEL 1



GROUND



PROPOSED DEEP SOIL LANDSCAPE

54 NEW BEACH ROAD

DEEP SOIL LANDSCAPE SUMMARY

	PROPOSED				EXISTING
FLOOR LEVEL	FRONT SETBACK ZONE DEEP SOIL LANDSCAPE AREA	REAR SETBACK ZONE DEEP SOIL LANDSCAPE AREA	SITE OUTSIDE OF BUILDABLE AREA DEEP SOIL LANDSCAPE AREA	WHOLE SITE DEEP SOIL LANDSCAPE AREA (INCLUDING INSIDE BUILDABLE AREA)	EXISTING WHOLE SITE DEEP SOIL LANDSCAPE AREA (INCLUDING INSIDE BUILDABLE AREA)
LEVEL 4					
LEVEL 3		35	35	35	3
LEVEL 2		21	43	43	6
LEVEL 1					15
GROUND FLOOR	17		47	70	
TOTAL DEEP SOIL AREA PROPOSED	17 m2	56 m2	125 m2	148 m2	23 m2
DCP CONTROL	56 m2	87 m2	204 m2		

FRONT SETBACK DEEP SOIL LANDSCAPE

MIN. 40% OF FRONT SETBACK AREA TO COMPRISE DEEP SOIL LANDSCAPE  
CONTROL (140 M<sup>2</sup> x 40%) = 56 M<sup>2</sup>

REAR SETBACK DEEP SOIL LANDSCAPE

MIN. 50% OF REAR SETBACK AREA TO COMPRISE DEEP SOIL LANDSCAPE  
CONTROL (173 M<sup>2</sup> x 50%) = 87 M<sup>2</sup>

SITE DEEP SOIL LANDSCAPE

MIN. 50% OF SITE OUTSIDE BUILDABLE AREA TO BE DEEP SOIL LANDSCAPE  
CONTROL (408 M<sup>2</sup> x 50%) = 204 M<sup>2</sup>

PRIMARY OPEN SPACE

CONTROL: ONE PRIMARY OPEN SPACE OF MIN. 35 M<sup>2</sup>.

PROPOSED:

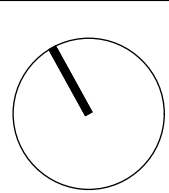
UNIT A L1 WEST TERRACE = 47 M<sup>2</sup>

UNIT B L3 WEST TERRACE = 39 M<sup>2</sup>



E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	07/05/2024	DESIGN AMENDMENTS (IN RESPONSE TO AMENDED SOFG), ISSUED FOR S34AA
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
DEVELOPMENT APPLICATION  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID



project no  
0454  
date  
NOV 2022  
scale  
1:300 @ A1  
drawn by  
KR  
checked by  
JR

drawing no.  
A0.06 E  
drawing name  
COUNCIL CONTROLS - AREA  
CALCULATIONS

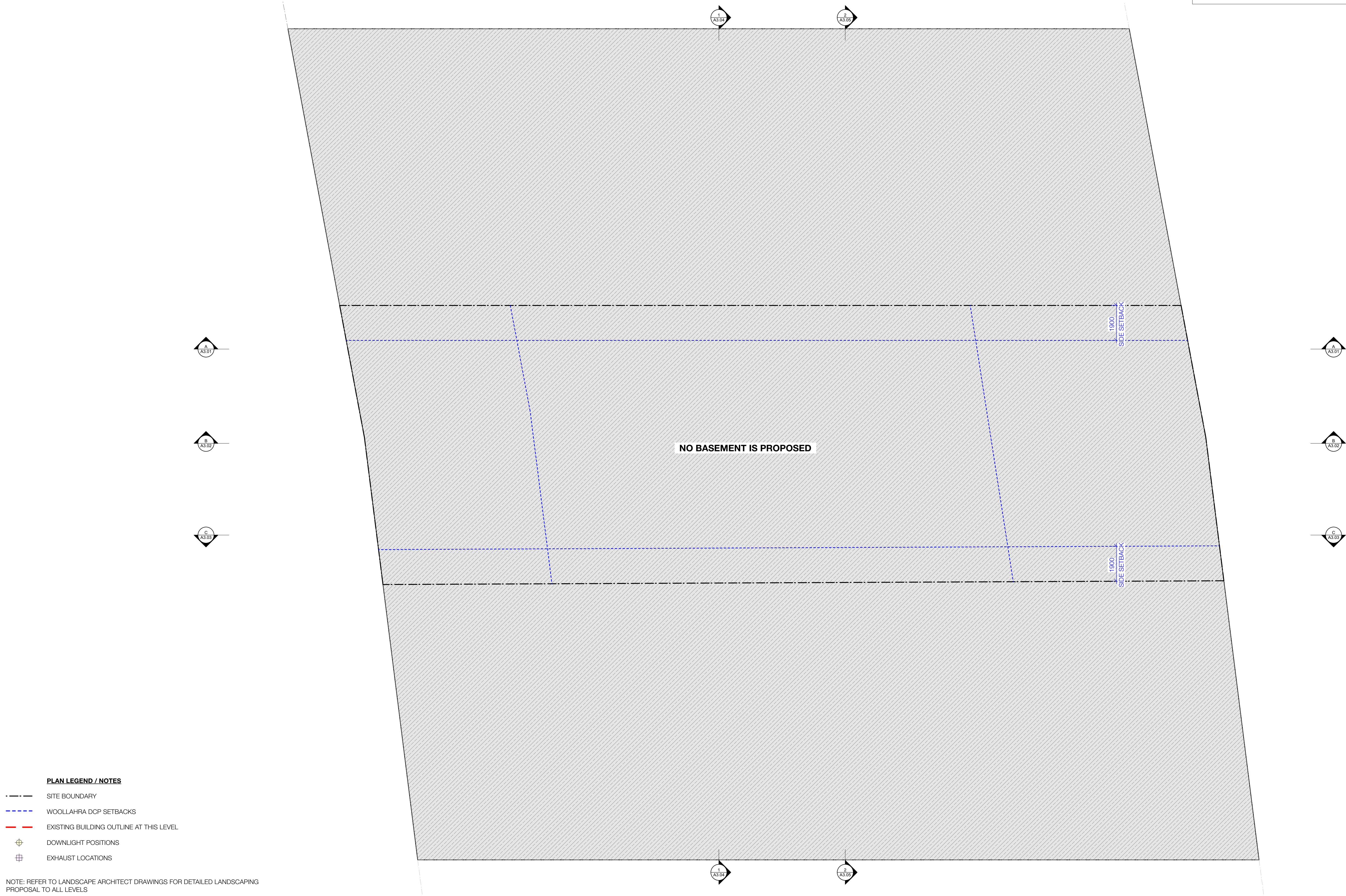
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Basement

No amendments have been made.



PLAN LEGEND / NOTES

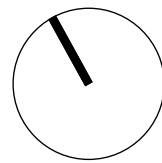
- SITE BOUNDARY
- WOOLLAHRA DCP SETBACKS
- EXISTING BUILDING OUTLINE AT THIS LEVEL
- ⊕ DOWNLIGHT POSITIONS
- ⊕ EXHAUST LOCATIONS

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILED LANDSCAPING PROPOSAL TO ALL LEVELS

**NOTE:**  
NO.53 NEW BEACH ROAD DRAWINGS ARE BY ANDRE POREBSKI + ASSOCIATES ARCHITECTS.  
NO.55 NEW BEACH ROAD DRAWINGS ARE BY LUIGI ROSSELLI PTY LTD.  
DRAWINGS HAVE BEEN ACCESSED FROM WOOLLAHRA COUNCIL WEBSITE AND ARE INCLUDED HERE TO PROVIDE CONTEXT TO THE SUBJECT SITE ONLY - NO OWNERSHIP IS CLAIMED OF THESE DRAWINGS.

E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
B	13/03/2023	CAR LIFT & TURNTABLE DETAILS ADDED AS REQUESTED BY COUNCIL. ISSUED FOR DEVELOPMENT APPLICATION
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID



project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

drawing no.  
**A1.01 E**  
drawing name  
**PLAN - BASEMENT**

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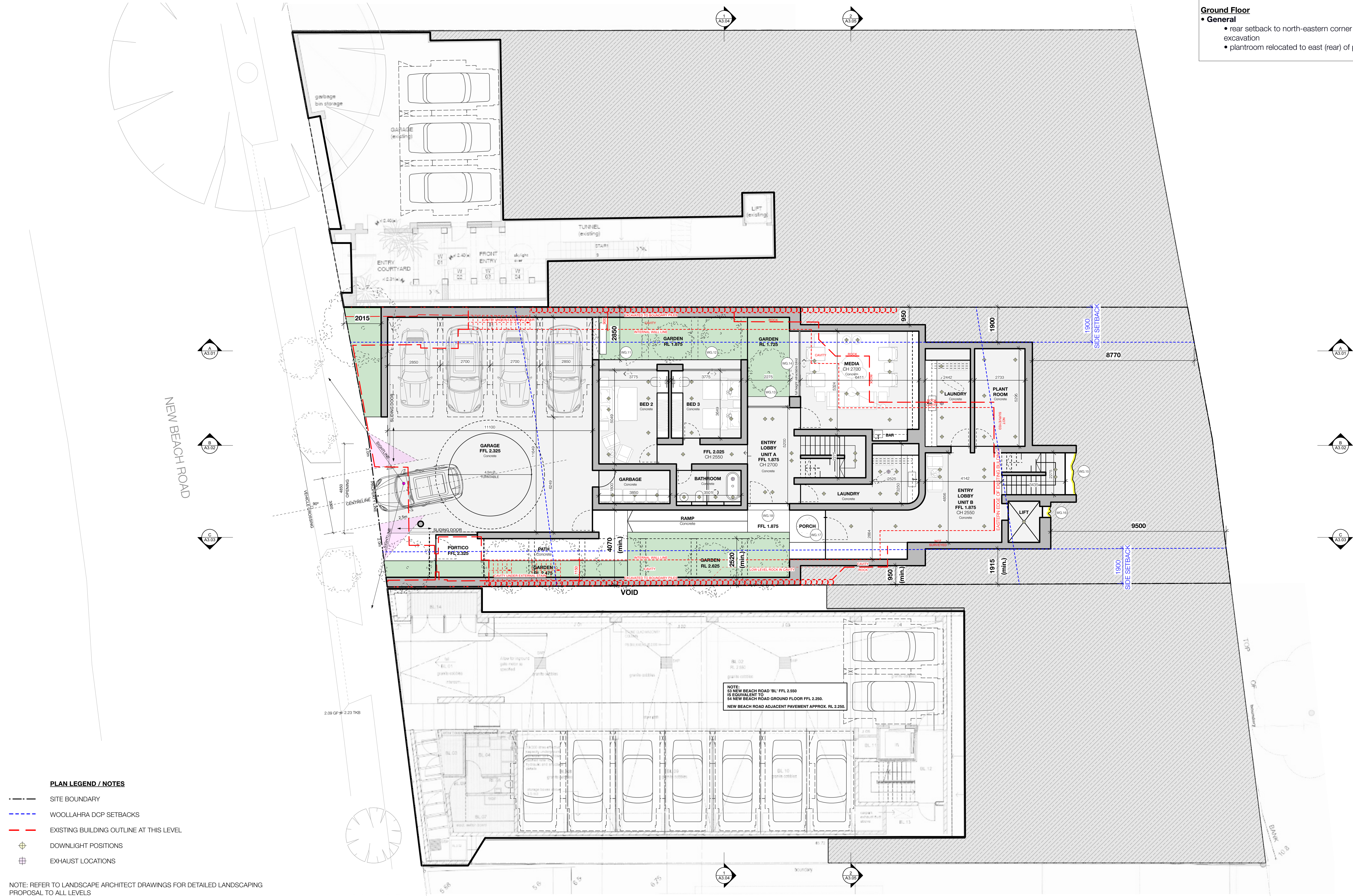
**Basement**

No amendments have been made.

**Ground Floor**

• **General**

- rear setback to north-eastern corner increased to 8770mm resulting in reduced excavation
- plantroom relocated to east (rear) of plan



**PLAN LEGEND / NOTES**

- SITE BOUNDARY
- WOOLLAHRA DCP SETBACKS
- EXISTING BUILDING OUTLINE AT THIS LEVEL
- ⊕ DOWNLIGHT POSITIONS
- ⊕ EXHAUST LOCATIONS

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILED LANDSCAPING PROPOSAL TO ALL LEVELS

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ISSUE	DATE	REVISION
E	14/05/2024	ISSUED FOR SECTION 34AA
D	23/04/2024	DESIGN AMENDMENTS (IN RESPONSE TO AMENDED SOFO), ISSUED FOR S34AA
C	01/02/2024	DESIGN AMENDMENTS, ISSUED FOR SECTION 34AA
B	13/03/2023	CAR LIFT DETAILS ADDED AS REQUESTED BY COUNCIL, ISSUED FOR DEVELOPMENT APPLICATION
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION

status  
**DEVELOPMENT APPLICATION**

project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027

client  
CHARLIE & MOLLY REID

project no  
0454

date  
NOV 2022

scale  
1:100 @ A1

drawn by  
KR

checked by  
JR

drawing no.  
**A1.02 E**

drawing name  
**PLAN - GROUND (NEW BEACH ROAD)**

**TOBIAS PARTNERS**

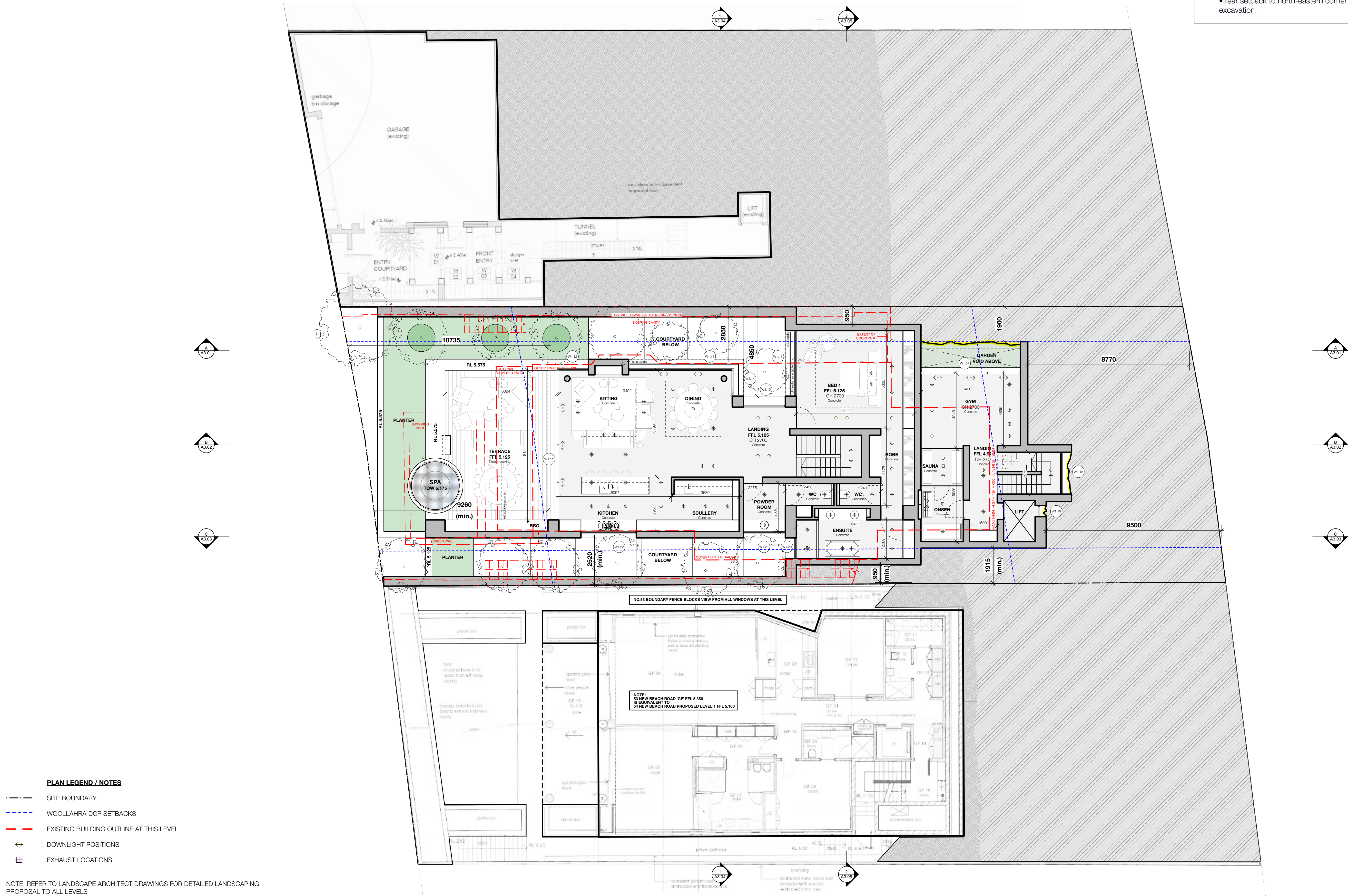
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Level 1

- General
  - rear setback to north-eastern corner increased to 8770mm resulting in a reduction in excavation.



PLAN LEGEND / NOTES

- SITE BOUNDARY
- WOOLLAHRA DCP SETBACKS
- EXISTING BUILDING OUTLINE AT THIS LEVEL
- ⊕ DOWNLIGHT POSITIONS
- ⊕ EXHAUST LOCATIONS

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILED LANDSCAPING PROPOSAL TO ALL LEVELS

NOTE:  
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C	23/04/2024	DESIGN AMENDMENTS (IN RESPONSE TO AMENDED SOF), ISSUED FOR S34AA
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION

status  
DEVELOPMENT APPLICATION  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

drawing no.  
A1.03 E  
drawing name  
PLAN - LEVEL 1 (PODIUM)

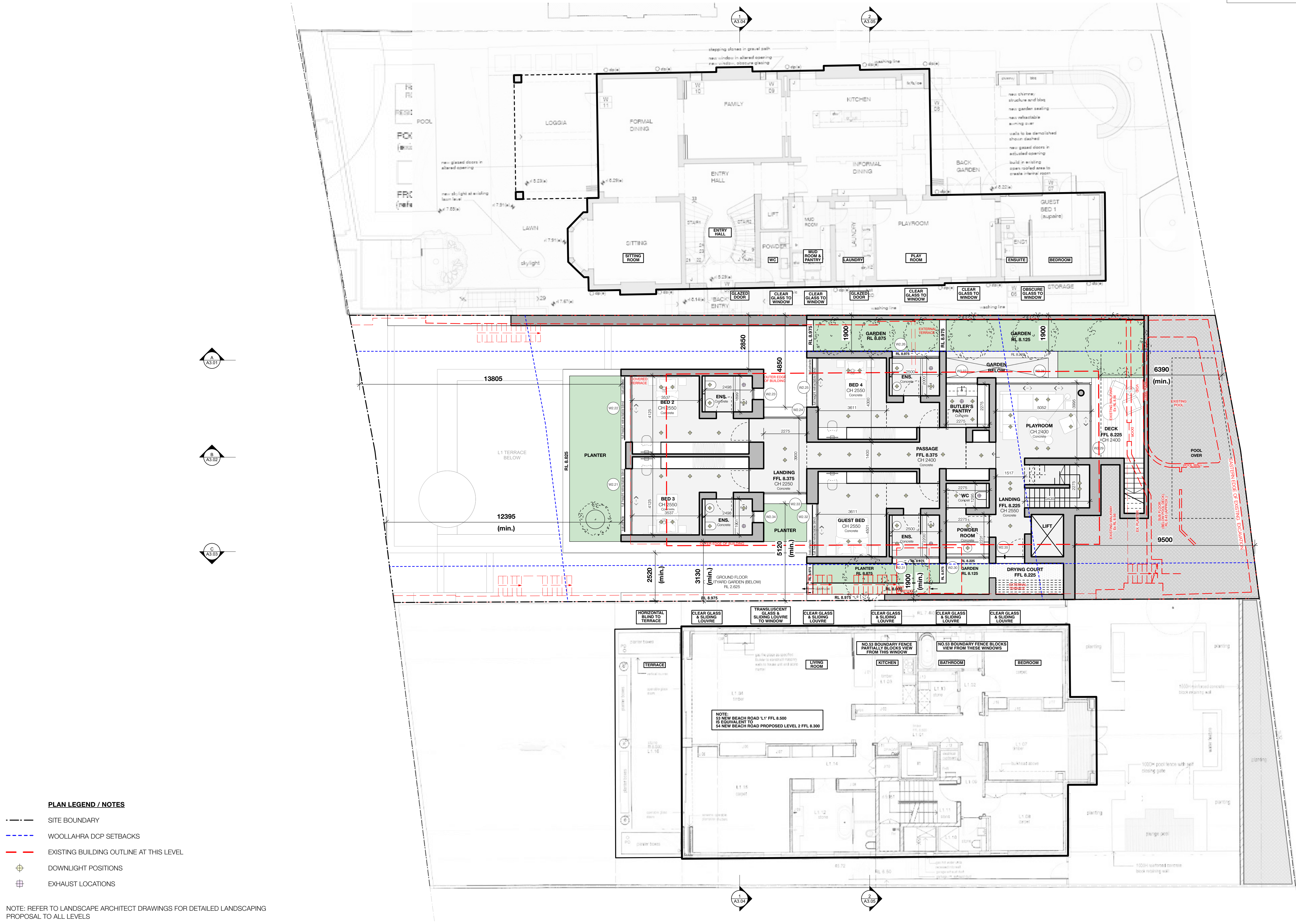
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**Level 2**  
Minor playroom garden increase due to reduced building footprint / excavation below.



NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILED LANDSCAPING PROPOSAL TO ALL LEVELS

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ISSUE	DATE	REVISION
E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no.  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

drawing no.  
**A1.04 E**  
drawing name  
**PLAN - LEVEL 2**

**TOBIAS PARTNERS**

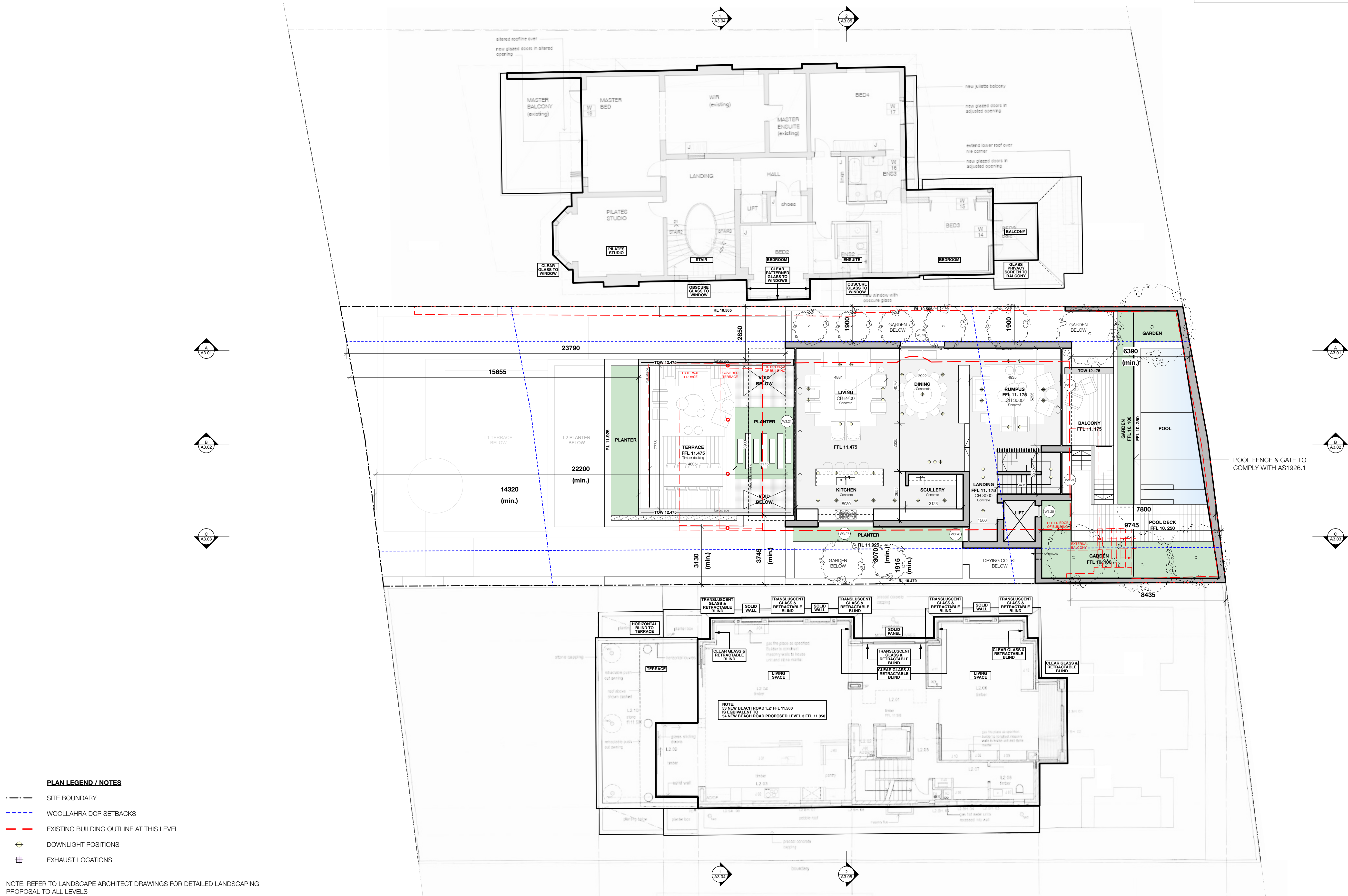
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Level 3

No amendments have been made.



- PLAN LEGEND / NOTES**
- SITE BOUNDARY
  - WOOLLAHRA DCP SETBACKS
  - EXISTING BUILDING OUTLINE AT THIS LEVEL
  - ⊕ DOWNLIGHT POSITIONS
  - ⊕ EXHAUST LOCATIONS

NOTE: REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILED LANDSCAPING PROPOSAL TO ALL LEVELS

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ISSUE	DATE	REVISION
E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION

status  
**DEVELOPMENT APPLICATION**

project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027

client  
CHARLIE & MOLLY REID

project no  
0454

date  
NOV 2022

scale  
1:100 @ A1

drawn by  
KR

checked by  
JR

drawing no.  
**A1.05 E**

drawing name  
**PLAN - LEVEL 3**

**TOBIAS PARTNERS**

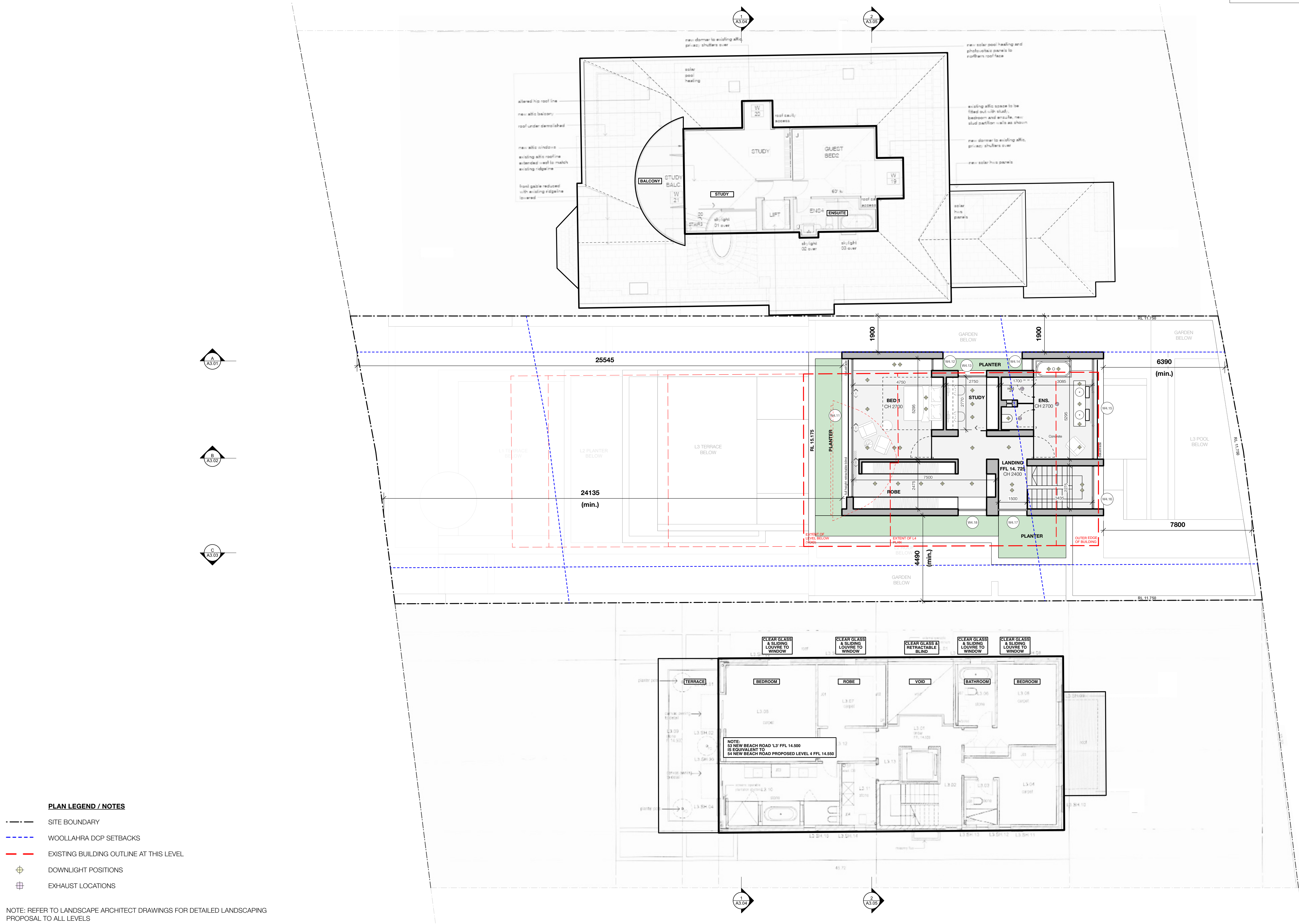
27 Renny Street Paddington NSW Australia 2021  
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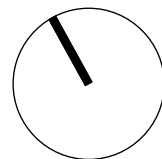
Level 4

No amendments have been made.



E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
DEVELOPMENT APPLICATION  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID



project no. 0454  
date NOV 2022  
scale 1:100 @ A1  
drawn by KR  
checked by JR

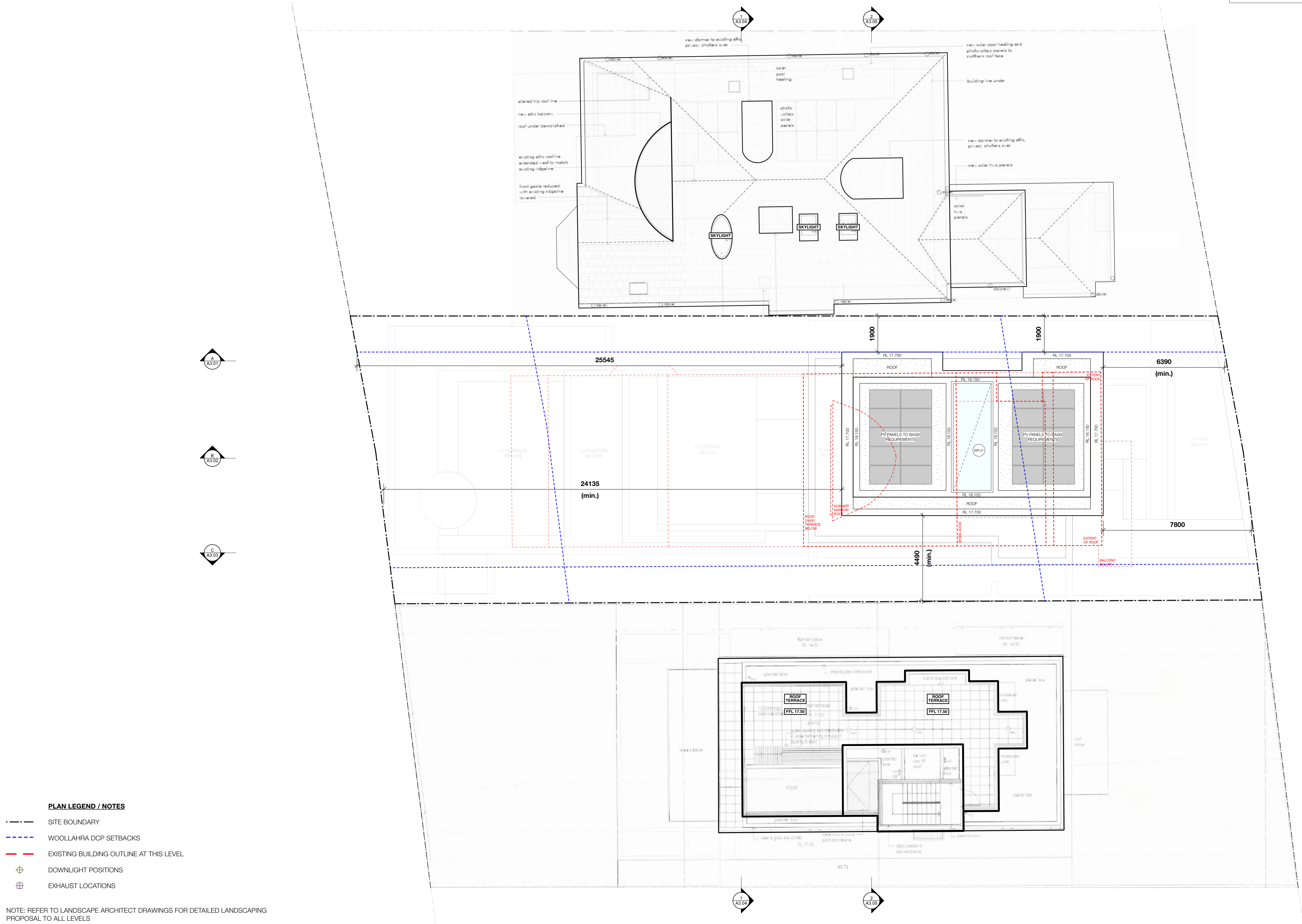
drawing no. A1.06 E  
drawing name  
PLAN - LEVEL 4

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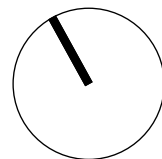


**Roof**  
No amendments have been made.



ISSUE	DATE	REVISION
E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID



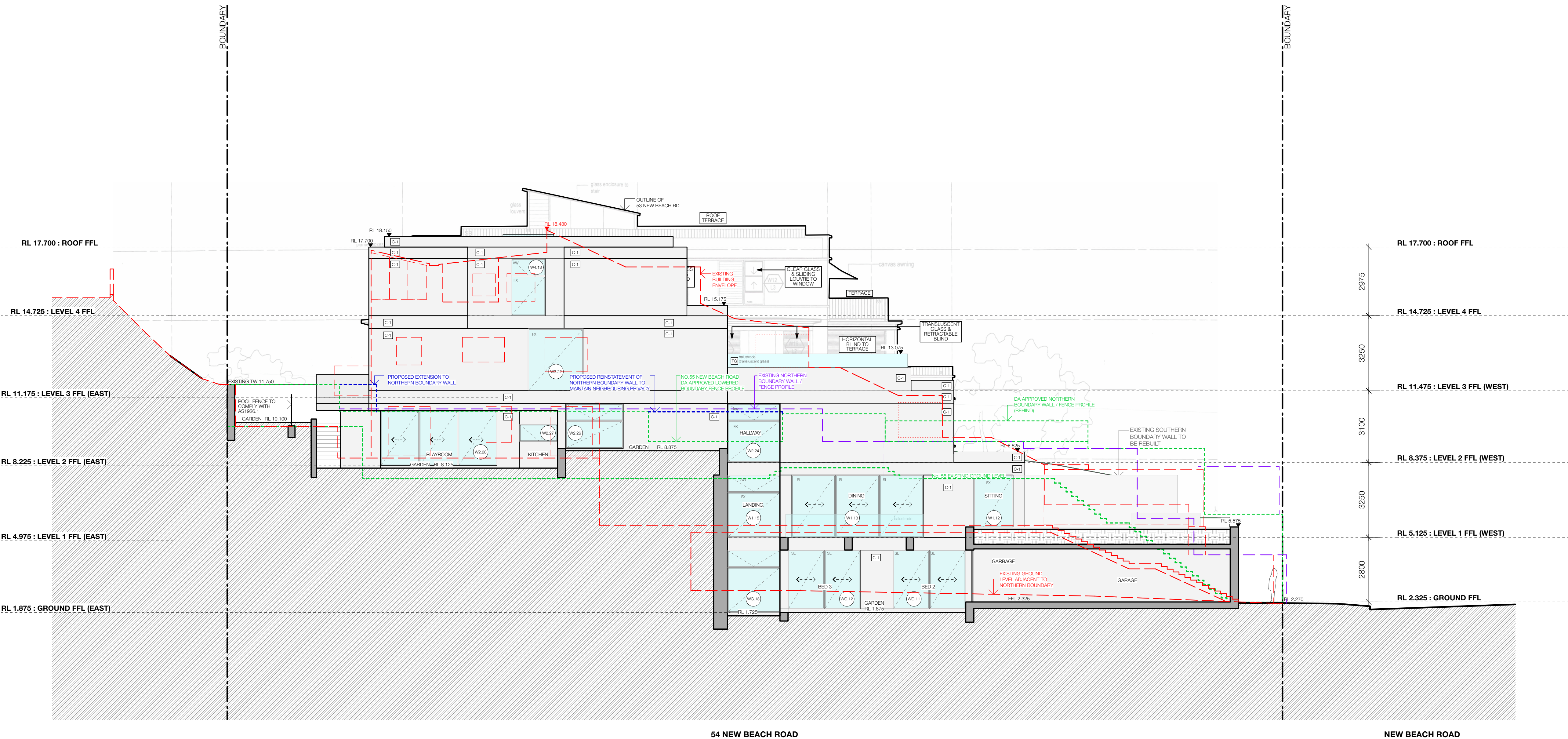
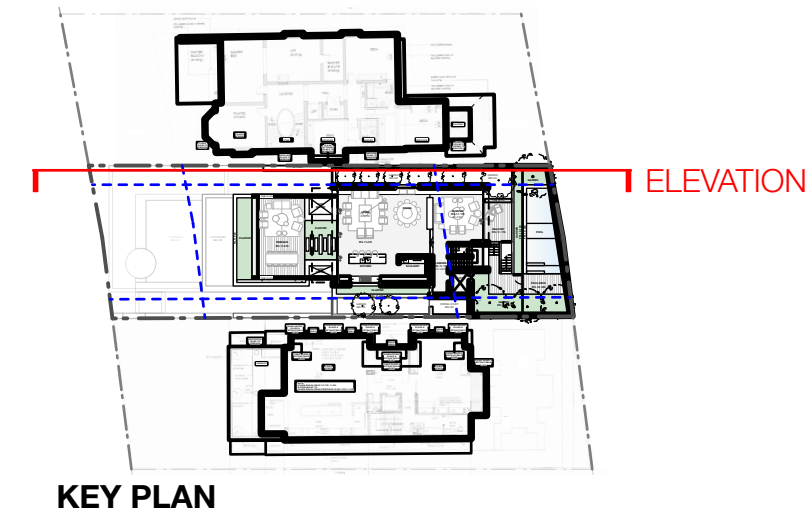
project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

drawing no.  
**A1.07 E**  
drawing name  
**PLAN - ROOF**

**TOBIAS PARTNERS**

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ELEVATION AND SECTION LEGEND / NOTES

- [C-1] PIGMENTED OFF-FORM CONCRETE FINISH TO ALL EXTERNAL WALLS & SURFACES
- [W1.01] ALUMINIUM FRAMED GLAZING
- [T] TIMBER
- BOUNDARY
- EXISTING GROUND LEVEL & BUILDING OUTLINE
- 9.5m ABOVE EXISTING GROUND LEVEL
- SIDE / FRONT / REAR SETBACK
- BOUNDARY WALLS ALONG NORTH AND SOUTH BOUNDARY: WHITE PAINTED RENDERED BLOCKWORK
- C.1980 GROUND LEVEL
- 9.5M ABOVE C.1980 GROUND LEVEL

**NOTE:**  
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NO.55 NEW BEACH ROAD DRAWINGS ARE BY LUIGI ROSSELLI PTY LTD.  
DRAWINGS HAVE BEEN ACCESSED FROM WOOLLAHRA COUNCIL WEBSITE AND ARE INCLUDED HERE TO PROVIDE CONTEXT TO THE SUBJECT SITE ONLY - NO OWNERSHIP IS CLAIMED OF THESE DRAWINGS.

**GLAZING EXTERNAL SHADING PROVISION**  
THE FOLLOWING WINDOWS ARE TO HAVE EXTERNAL RETRACTABLE FABRIC AWNINGS PROVIDING A MINIMUM OVERHANG / SHADING DEPTH OF 2.5 METRES:  
W1.11, W3.21

THE FOLLOWING WINDOWS ARE TO HAVE FULL HEIGHT EXTERNAL RETRACTABLE FABRIC BLINDS CAPABLE OF SHADING THE WHOLE WINDOW SURFACE AREA:  
WG.14, W1.16, W2.21, W2.22, W2.25, W2.32, W4.11

E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
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JR

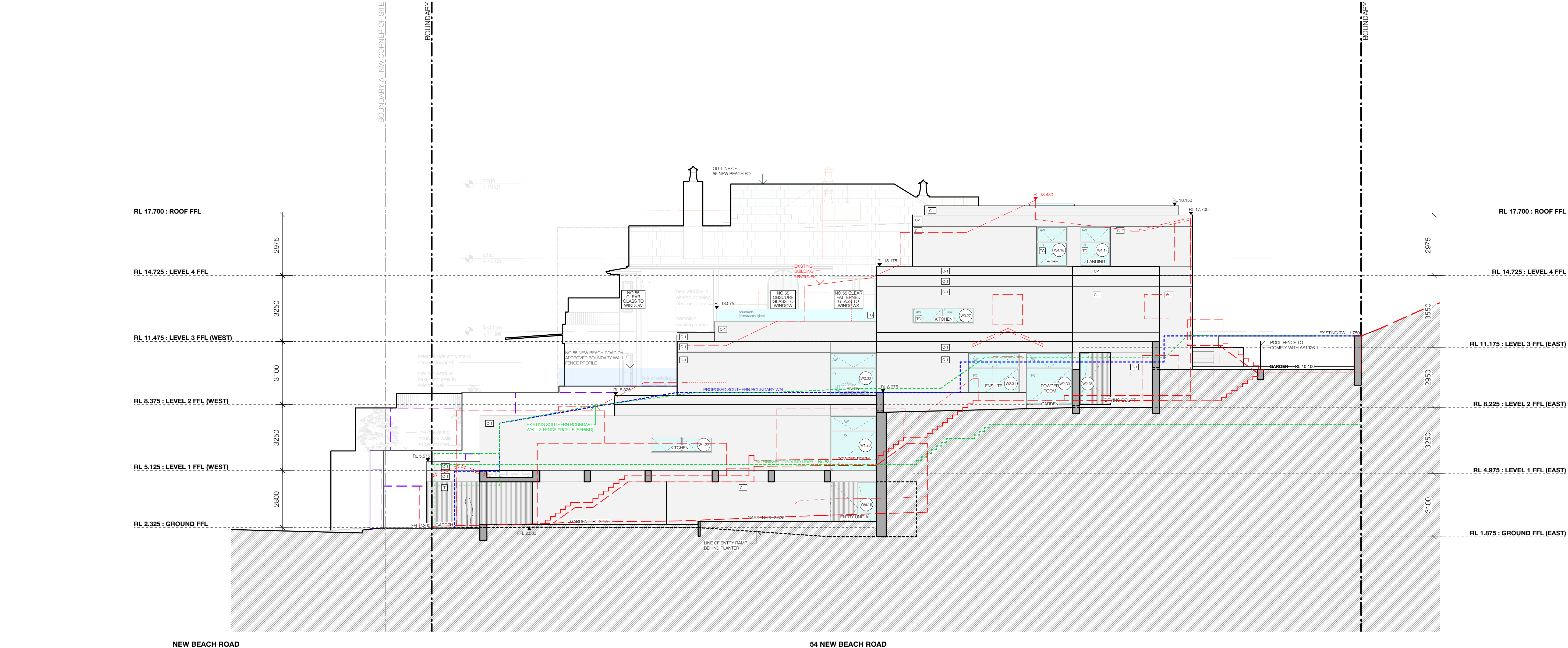
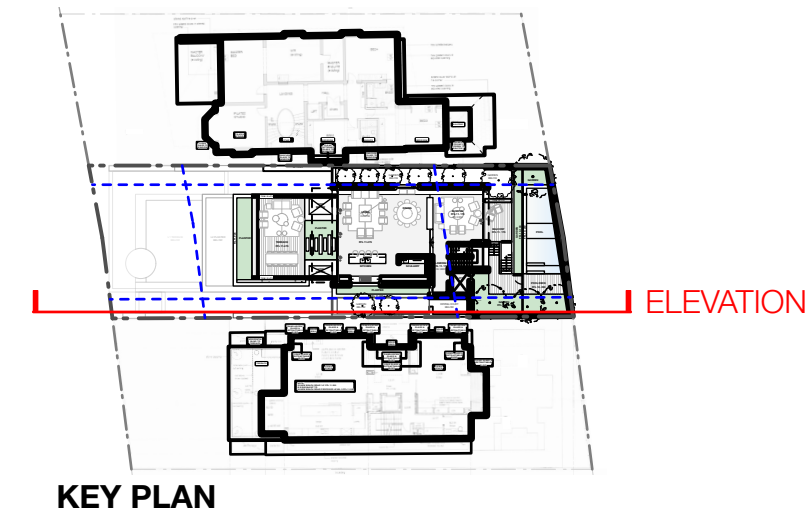
drawing no.  
**A2.01 E**  
drawing name  
ELEVATION - NORTH

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#### ELEVATION AND SECTION LEGEND / NOTES

- C-1** PIGMENTED OFF-FORM CONCRETE FINISH TO ALL EXTERNAL WALLS & SURFACES
- AL** ALUMINIUM FRAMED GLAZING
- T** TIMBER
- TG** TRANSLUCENT GLASS UP TO 1500mm ABOVE FFL
- BOUNDARY
- EXISTING GROUND LEVEL & BUILDING OUTLINE
- 9.5m ABOVE EXISTING GROUND LEVEL
- SIDE / FRONT / REAR SETBACK
- BOUNDARY WALLS ALONG NORTH AND SOUTH BOUNDARY: WHITE PAINTED RENDERED BLOCKWORK
- C.1980 GROUND LEVEL
- 9.5M ABOVE C.1980 GROUND LEVEL

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**GLAZING EXTERNAL SHADING PROVISION**  
THE FOLLOWING WINDOWS ARE TO HAVE EXTERNAL RETRACTABLE FABRIC AWNINGS PROVIDING A MINIMUM OVERHANG / SHADING DEPTH OF 2.5 METRES:  
W1.11, W3.21

THE FOLLOWING WINDOWS ARE TO HAVE FULL HEIGHT EXTERNAL RETRACTABLE FABRIC BLINDS CAPABLE OF SHADING THE WHOLE WINDOW SURFACE AREA:  
WG.14, W1.16, W2.21, W2.22, W2.25, W2.32, W4.11

E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

drawing no.  
**A2.02 E**  
drawing name  
ELEVATION - SOUTH

**TOBIAS PARTNERS**

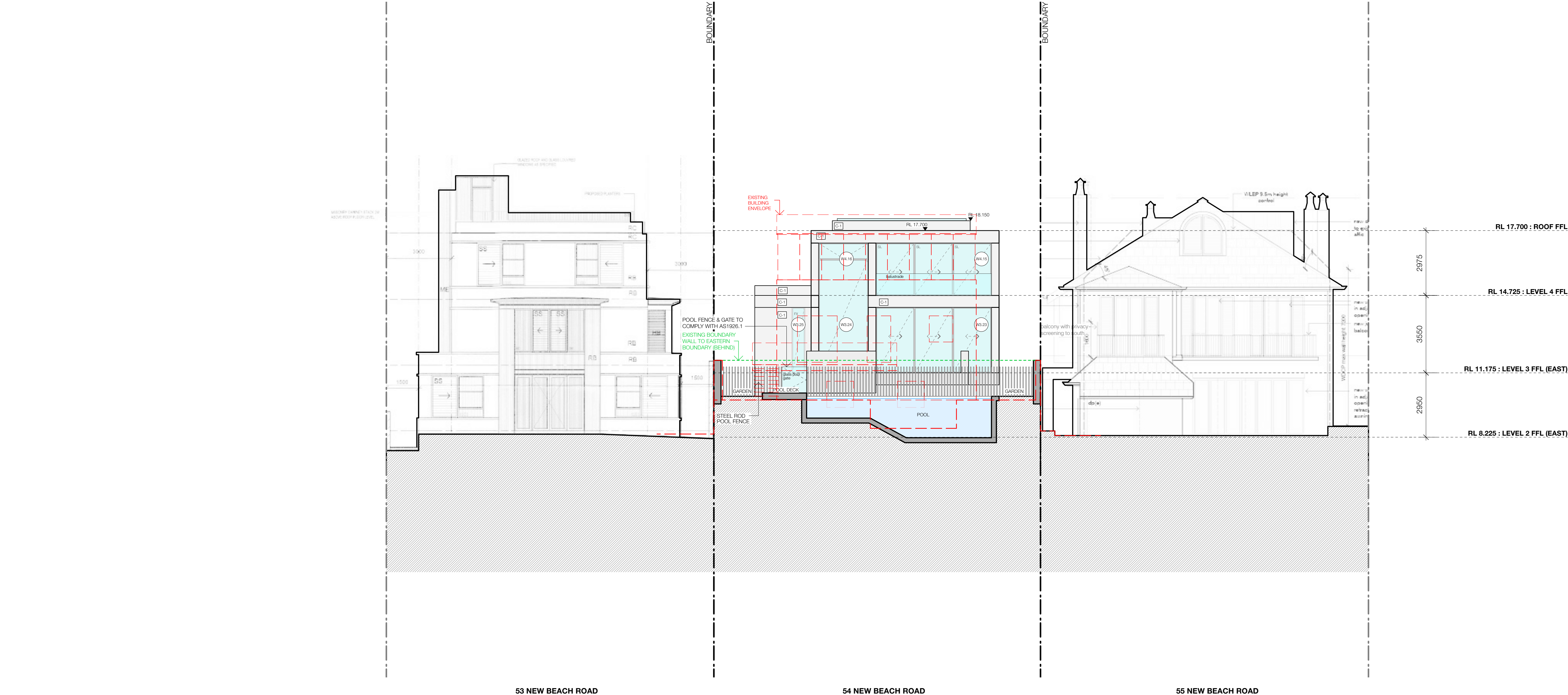
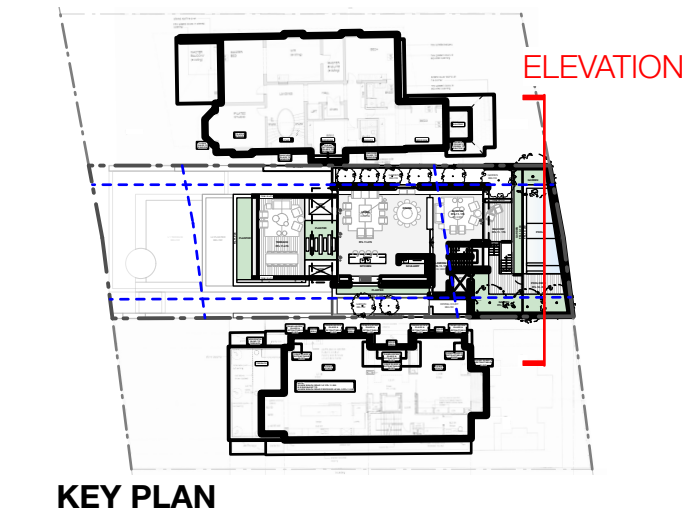
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#### ELEVATION AND SECTION LEGEND / NOTES

<div>C-1</div>	PIGMENTED OFF-FORM CONCRETE FINISH TO ALL EXTERNAL WALLS & SURFACES	<div>W1.01</div>	ALUMINIUM FRAMED GLAZING	<div>T</div>	TIMBER
<div>TG</div>	TRANSLUCENT GLASS UP TO 1500mm ABOVE FFL				
<div>---</div>	BOUNDARY				
<div>---</div>	EXISTING GROUND LEVEL & BUILDING OUTLINE				
<div>---</div>	9.5m ABOVE EXISTING GROUND LEVEL				
<div>---</div>	9.5M ABOVE C.1980 GROUND LEVEL				
<div>---</div>	SIDE / FRONT / REAR SETBACK				
<div>---</div>	BOUNDARY WALLS ALONG NORTH AND SOUTH BOUNDARY: WHITE PAINTED RENDERED BLOCKWORK				

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**GLAZING EXTERNAL SHADING PROVISION**  
THE FOLLOWING WINDOWS ARE TO HAVE EXTERNAL RETRACTABLE FABRIC AWNINGS PROVIDING A MINIMUM OVERHANG / SHADING DEPTH OF 2.5 METRES:  
W1.11, W3.21

THE FOLLOWING WINDOWS ARE TO HAVE FULL HEIGHT EXTERNAL RETRACTABLE FABRIC BLINDS CAPABLE OF SHADING THE WHOLE WINDOW SURFACE AREA:  
WG.14, W1.16, W2.21, W2.22, W2.25, W2.32, W4.11

E	14/05/2024	ISSUED FOR SECTION 34AA
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ISSUE	DATE	REVISION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

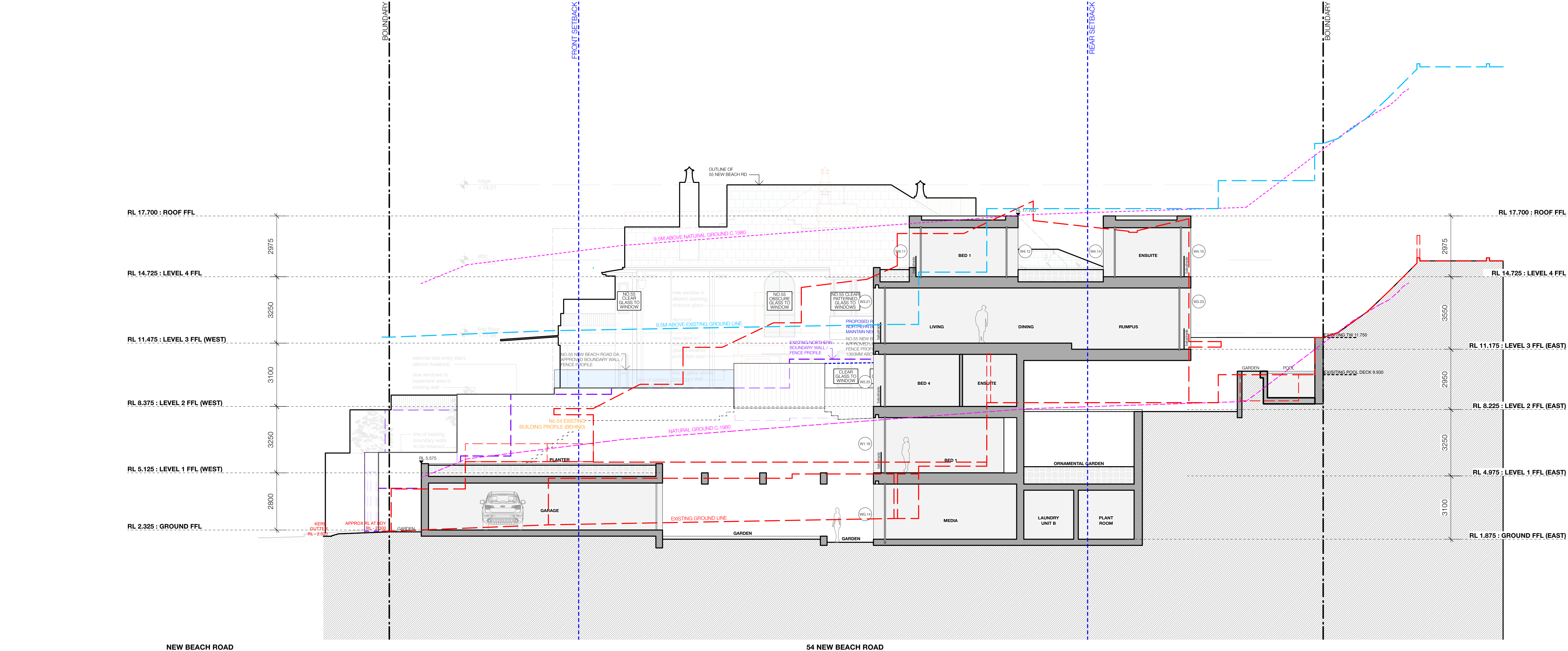
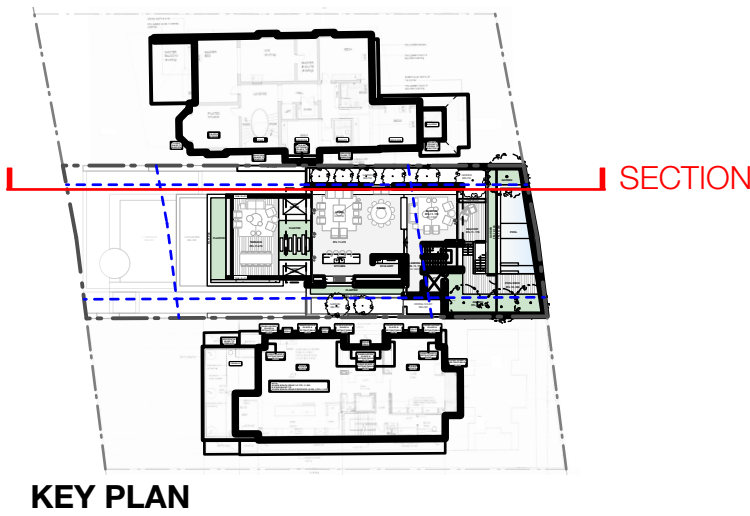
drawing no.  
**A2.04 E**  
drawing name  
ELEVATION - EAST

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ELEVATION AND SECTION LEGEND / NOTES			
	PIGMENTED OFF-FORM CONCRETE FINISH TO ALL EXTERNAL WALLS & SURFACES		ALUMINIUM FRAMED GLAZING
	TIMBER		TRANSLUCENT GLASS UP TO 1500mm ABOVE FFL
	BOUNDARY		C.1980 GROUND LEVEL
	EXISTING GROUND LEVEL & BUILDING OUTLINE		9.5M ABOVE C.1980 GROUND LEVEL
	SIDE / FRONT / REAR SETBACK		
	BOUNDARY WALLS ALONG NORTH AND SOUTH BOUNDARY: WHITE PAINTED RENDERED BLOCKWORK		
<b>NOTE:</b> NO.53 NEW BEACH ROAD DRAWINGS ARE BY ANDRE POREBSKI + ASSOCIATES ARCHITECTS. NO.55 NEW BEACH ROAD DRAWINGS ARE BY LUIGI ROSSELLI PTY LTD. DRAWINGS HAVE BEEN ACCESSED FROM WOOLLAHRA COUNCIL WEBSITE AND ARE INCLUDED HERE TO PROVIDE CONTEXT TO THE SUBJECT SITE ONLY - NO OWNERSHIP IS CLAIMED OF THESE DRAWINGS.			

ISSUE	DATE	REVISION
E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	07/05/2024	DESIGN AMENDMENTS (IN RESPONSE TO AMENDED SOF), ISSUED FOR S34AA
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

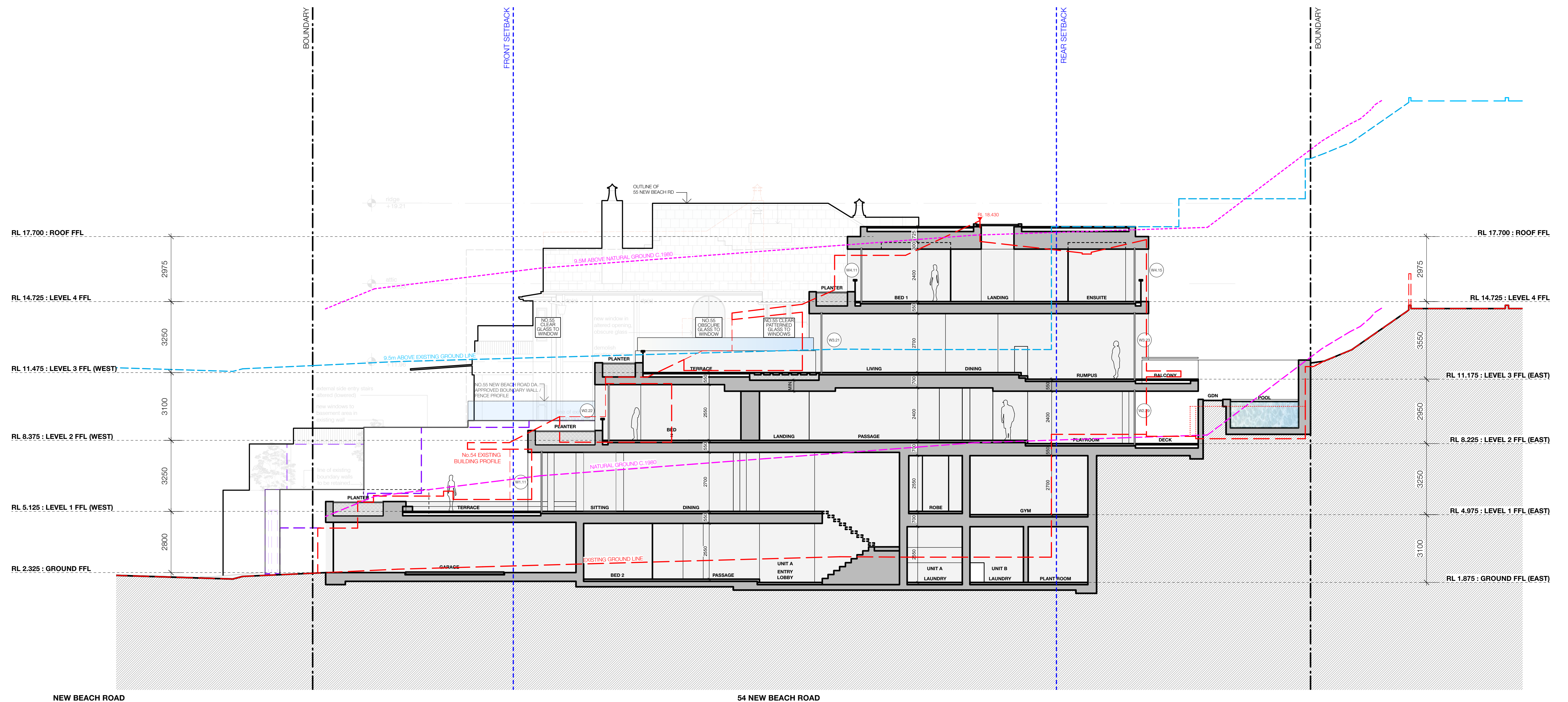
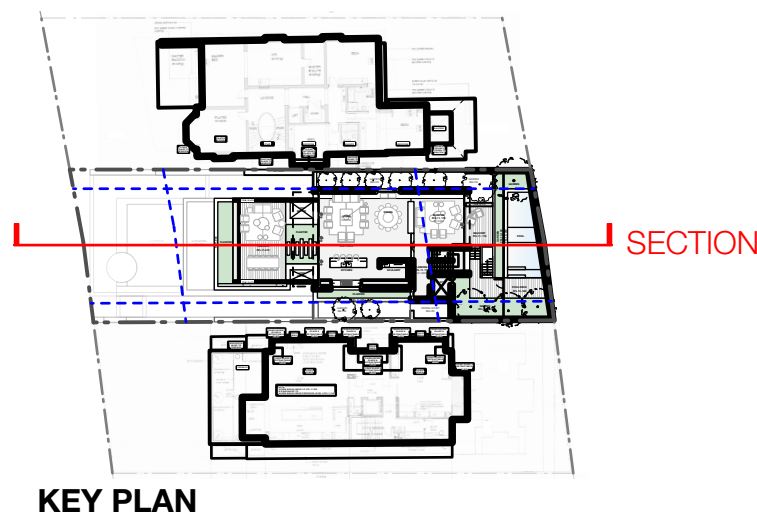
drawing no.  
**A3.01 E**  
drawing name  
LONG SECTION A

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#### ELEVATION AND SECTION LEGEND / NOTES



	PIGMENTED OFF-FORM CONCRETE FINISH TO ALL EXTERNAL WALLS & SURFACES		 ALUMINIUM FRAMED GLAZING		TIMBER
	BOUNDARY		TRANSLUCENT GLASS UP TO 1500mm ABOVE FFL		
	EXISTING GROUND LEVEL & BUILDING OUTLINE		C.1980 GROUND LEVEL		
	9.5m ABOVE EXISTING GROUND LEVEL		9.5M ABOVE C.1980 GROUND LEVEL		
	SIDE / FRONT / REAR SETBACK				
	BOUNDARY WALLS ALONG NORTH AND SOUTH BOUNDARY: WHITE PAINTED RENDERED BLOCKWORK				

**NOTE:**  
NO.53 NEW BEACH ROAD DRAWINGS ARE BY ANDRE POREBSKI + ASSOCIATES ARCHITECTS.  
NO.55 NEW BEACH ROAD DRAWINGS ARE BY LUIGI ROSSELLI PTY LTD.  
DRAWINGS HAVE BEEN ACCESSED FROM WOOLLAHRA COUNCIL WEBSITE AND ARE INCLUDED HERE TO PROVIDE CONTEXT  
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E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	29/04/2024	DESIGN AMENDMENTS (IN RESPONSE TO AMENDED SOFC), ISSUED FOR S34AA
B	01/02/2024	DESIGN AMENDMENTS, ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

DEVELOPMENT APPLICATION

54 NEW BEACH ROAD, DARLING POINT, NSW 2027

CHARLIE & MOLLY REID

project no 0454  
date NOV 2022  
scale 1:100 @ A1  
drawn by KR checked by JR

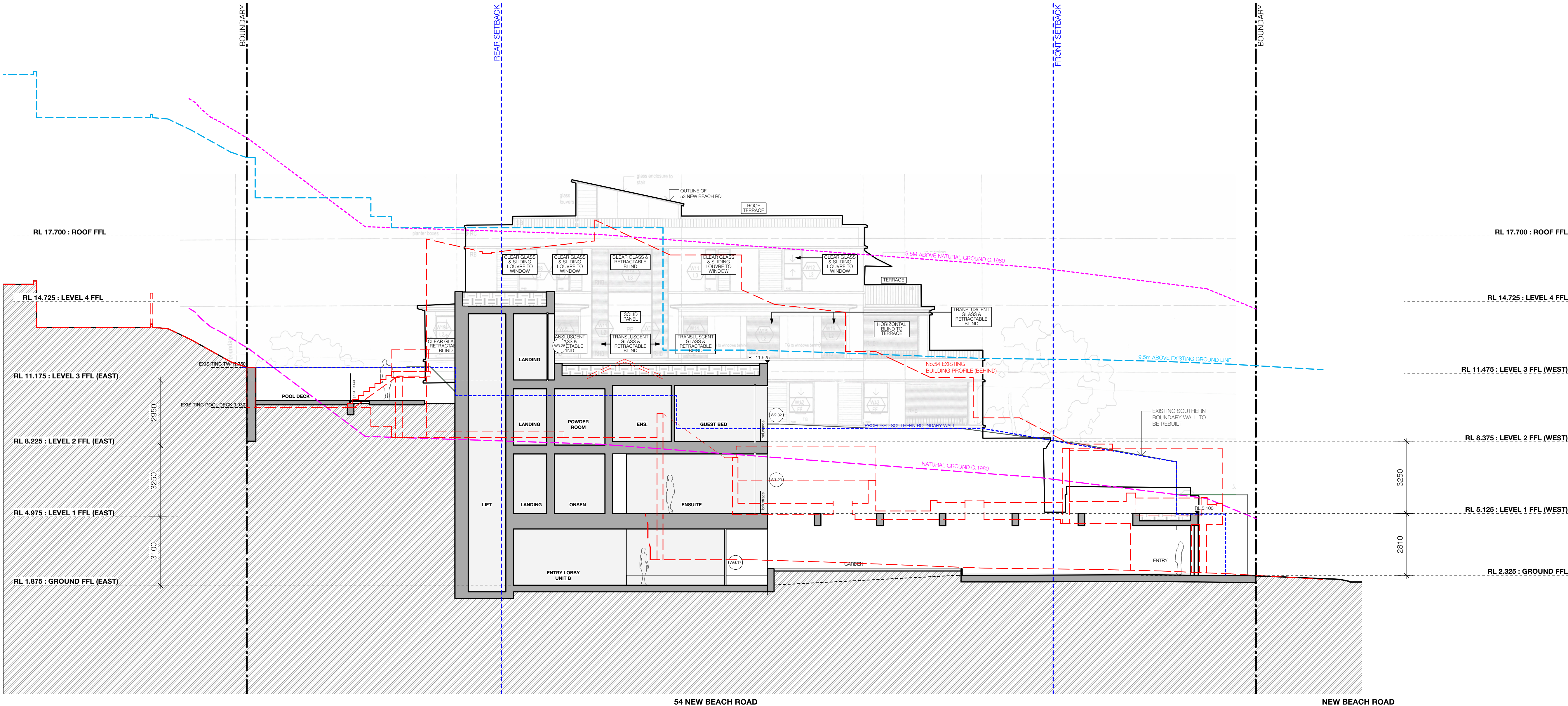
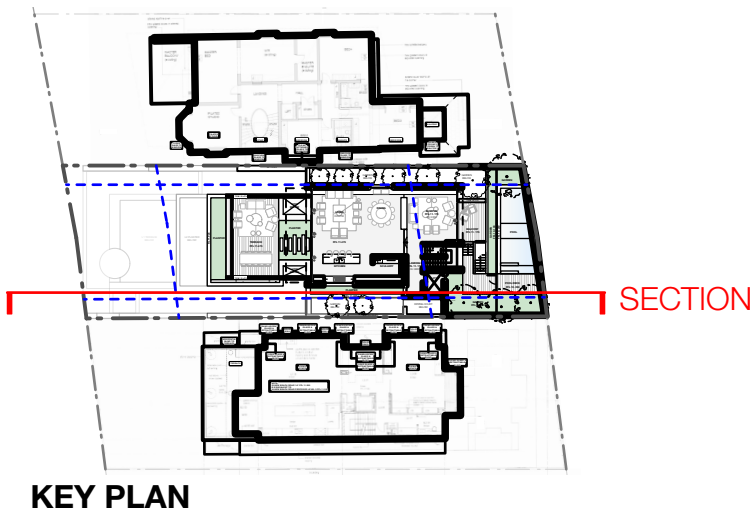
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drawing name	LONG SECTION B

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#### ELEVATION AND SECTION LEGEND / NOTES

	PIGMENTED OFF-FORM CONCRETE FINISH TO ALL EXTERNAL WALLS & SURFACES		ALUMINIUM FRAMED GLAZING		TIMBER
	TRANSLUCENT GLASS UP TO 1500mm ABOVE FFL				
	BOUNDARY				
	EXISTING GROUND LEVEL & BUILDING OUTLINE		C.1980 GROUND LEVEL		
	9.5m ABOVE EXISTING GROUND LEVEL		9.5M ABOVE C.1980 GROUND LEVEL		
	SIDE / FRONT / REAR SETBACK				
	BOUNDARY WALLS ALONG NORTH AND SOUTH BOUNDARY: WHITE PAINTED RENDERED BLOCKWORK				

**NOTE:**  
NO.53 NEW BEACH ROAD DRAWINGS ARE BY ANDRE POREBSKI + ASSOCIATES ARCHITECTS.  
NO.55 NEW BEACH ROAD DRAWINGS ARE BY LUIGIROSSELLI PTY LTD.  
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D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

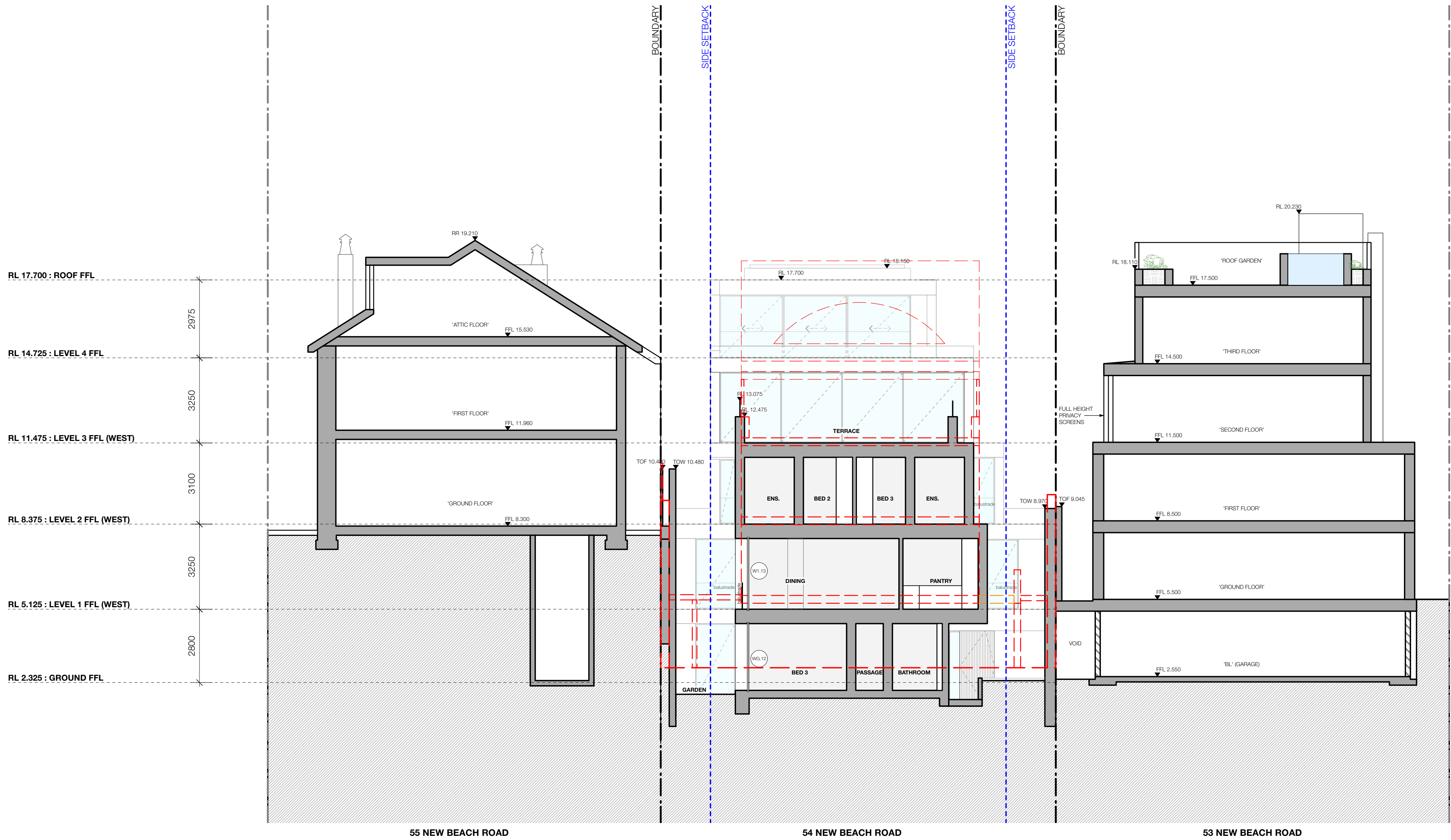
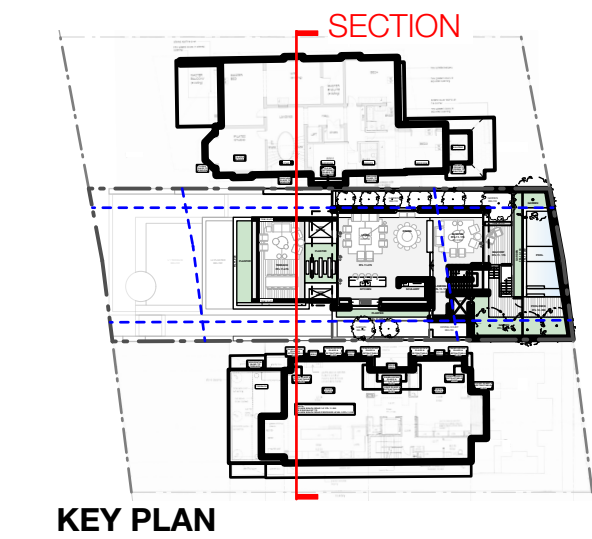
drawing no.  
**A3.03 E**  
drawing name  
LONG SECTION C

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**ELEVATION AND SECTION LEGEND / NOTES**

**LEGEND:**

- C-1** PIGMENTED OFF-FORM CONCRETE FINISH TO ALL EXTERNAL WALLS & SURFACES
- WT.01** ALUMINIUM FRAMED GLAZING
- T** TIMBER
- TG** TRANSLUCENT GLASS UP TO 1500mm ABOVE FFL
- BOUNDARY** (Dashed line)
- EXISTING GROUND LEVEL & BUILDING OUTLINE** (Red line)
- 9.5m ABOVE EXISTING GROUND LEVEL** (Blue dashed line)
- SIDE / FRONT / REAR SETBACK** (Blue dashed line)
- BOUNDARY WALLS ALONG NORTH AND SOUTH BOUNDARY: WHITE PAINTED RENDERED BLOCKWORK** (Green dashed line)
- C.1980 GROUND LEVEL** (Pink dashed line)
- 9.5M ABOVE C.1980 GROUND LEVEL** (Pink dashed line)

**NOTE:**  
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DRAWINGS HAVE BEEN ACCESSED FROM WOOLLAHRA COUNCIL WEBSITE AND ARE INCLUDED HERE TO PROVIDE CONTEXT TO THE SUBJECT SITE ONLY - NO OWNERSHIP IS CLAIMED OF THESE DRAWINGS.

E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
**DEVELOPMENT APPLICATION**  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no  
0454  
date  
NOV 2022  
scale  
1:100 @ A1  
drawn by  
KR  
checked by  
JR

drawing no.  
**A3.04 E**  
drawing name  
CROSS SECTION 1

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54 NEW BEACH ROAD

53 NEW BEACH ROAD

**NOTE:**  
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D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	01/02/2024	DESIGN AMENDMENTS. ISSUED FOR SECTION 34AA
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

status  
DEVELOPMENT APPLICATION  
project  
54 NEW BEACH ROAD, DARLING POINT, NSW 2027  
client  
CHARLIE & MOLLY REID

project no	0454
date	NOV 2022
scale	1:100 @ A1
drawn by	checked by
KR	JR

drawing no.  
A3.05 E

drawing name  
CROSS SECTION 2

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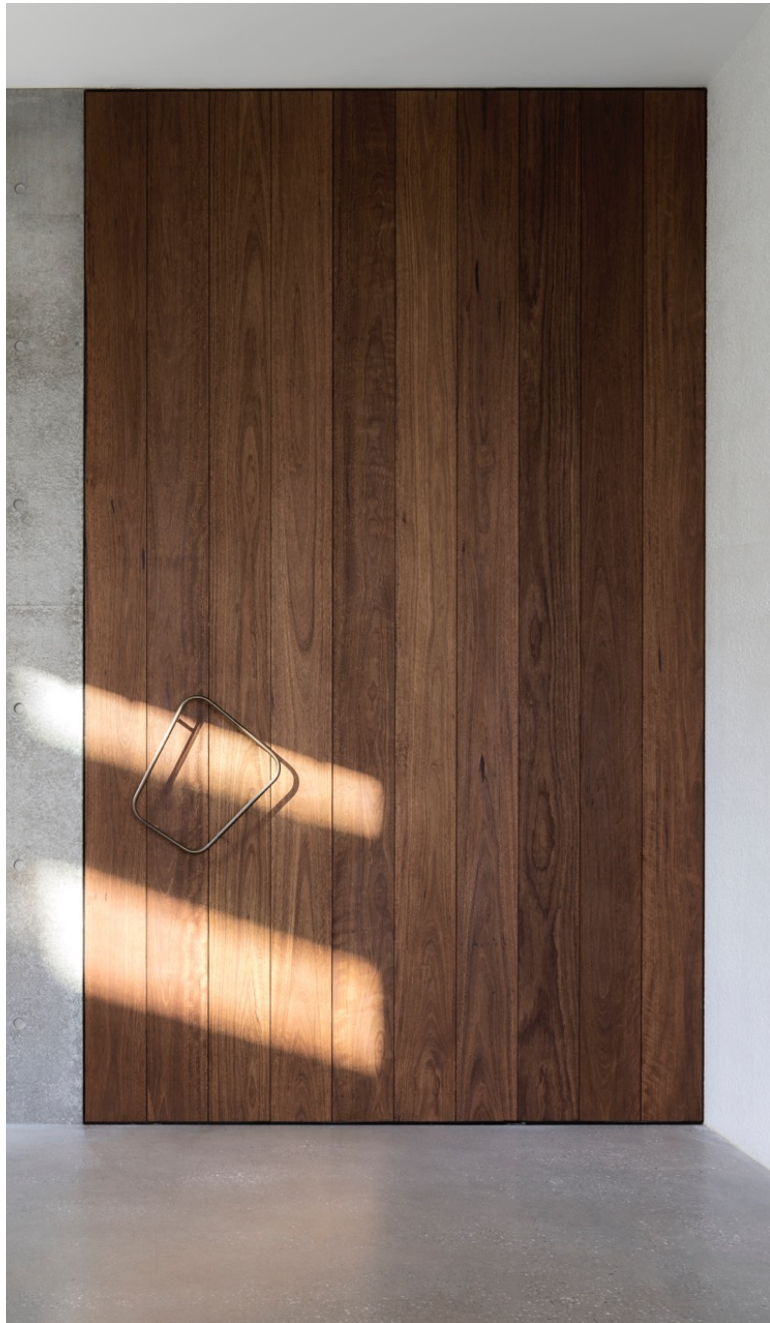




PIGMENTED OFF-FORM CONCRETE FINISH  
TO ALL EXTERNAL WALLS & PLANTERS



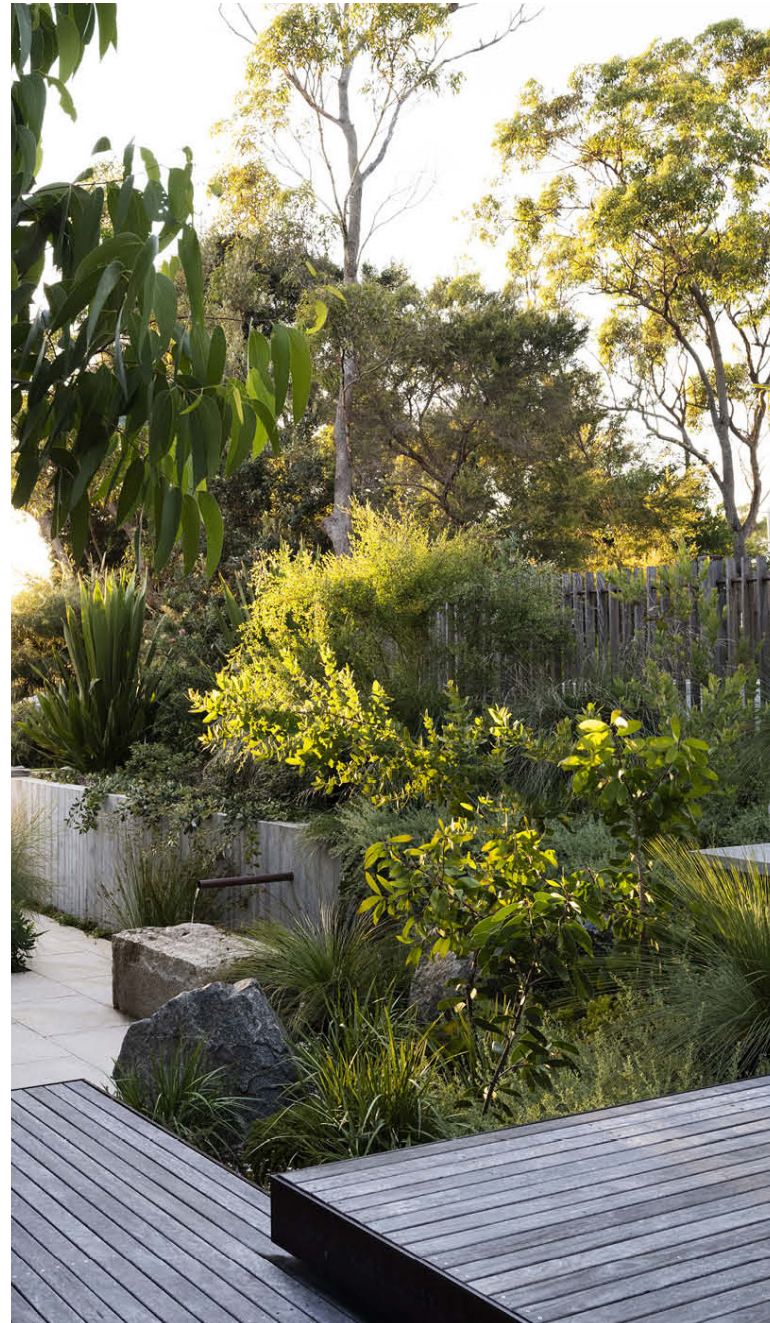
TIMBER BATTEN CLADDING & GARAGE DOOR



TIMBER FRONT ENTRY DOORS



ALUMINIUM FRAMED GLAZING



LANDSCAPING SOFTENING THE BUILDING

E	14/05/2024	ISSUED FOR SECTION 34AA
D	13/05/2024	NO CHANGES
C	13/05/2024	NO CHANGES
B	13/05/2024	NO CHANGES
A	14/02/2023	ISSUED FOR DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION

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status	DEVELOPMENT APPLICATION
project	54 NEW BEACH ROAD, DARLING POINT, NSW 2027
client	CHARLIE & MOLLY REID

project no	0454
date	NOV 2022
scale	NTS
drawn by	KR
checked by	JR

drawing no.	A5.01 E
drawing name	FINISHES SCHEDULE

5.6

Average star rating

NAUTIMOUNTAIN HOUSE

www.nautimountainhouse.com.au

0009455350

15 May 2024

Assessor

Raymond Steiman

Accreditation No.

DMN/12/1472

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Darling Point, NSW,  
2027

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